

## CERTIFICATION OF PRIOR RIGHTS

TO: David Rister, P.E., SCDOT Construction Manager of Mega Projects

FROM: Raven Gambrell, P.E., HDR

DATE: September 22, 2020

RE: Project ID P027662  
I-20/ I-26/ I-126 Carolina Crossroads Improvement Project  
Phase 2 – Broad River Road at I-20 (P039719)  
Richland and Lexington Counties  
**City of Columbia Prior Rights Verification (REV#1)**

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This is to certify that City of Columbia has prior rights on their facilities listed in the table below, which have direct known impacts with the project. The City is entering into a Memorandum of Agreement (MOA) with SCDOT which will detail the cost share of those items. This certification is the verification of all prior rights documents submitted regardless of impact.

### **Prior Rights Verification / SCDOT Right-of-way History**

In 1962, SCDOT obtained original right-of-way (ROW) for I-20 under File #40.533, which established the current day ROW shown. In 1987, SCDOT widened and made improvements to I-20; however, no new ROW was secured. Below is a table of utility items and tract numbers that have been verified.

The City provided documentation for areas in the vicinity of the project even though those items were not identified as a direct conflict at this time; however, this certification can be used by the DBT if those items noted below are impacted for future approved designs. If there are City facilities not listed below, then documentation was either not supplied or was not verified as a qualifying item. For those documents that were not approved, it is noted on the actual documents included in this package. There is a highlighted plan set of utilities noted in this certification for assistance as well.

Utility Item	Tract #	Potential Impact
24-in Water Line along Browning Road and I-20	184	Yes
24-in Water Line along north side of I-20 & I-20 Crossing at Sta 189+00	185-189 (documents provided) 191-194 (no documents – inside ROW)	Yes
12-in Water line along north side of I-20 from Sta 189+00 to Station 233+30	195-196 (documents provided) 197-200, 207-216 (no documents*)	Yes

NOR:tmp  
Attachment  
File: D1/Lexington/Richland/NOR  
Jay Clingman, District 1 Utility Coordinator  
Derek Frick, Assistant District 1 Construction Engineer

Utility Item	Tract #	Potential Impact
12-in Water line along north side of I-20 from Sta 233+30 to 263+00	212-248 (no documents*)	No
Various size lines on Garner Road (on private property. Lines on SCDOT ROW do not count in PR)	272, 270, 267	Yes (NPR); No (PR)
6-in water line east side of center line in Broad River Road from Marley Drive to Longcreek Drive (bored under I-20)	Under pavement (no documents*)	Yes
8-in water line east side of center line in Broad River Road from Marley Drive to Longcreek Drive (bored under I-20)	Under pavement (no documents*)	Yes
6-in water line crossing I-20 at Sta 262+00 (I-20 ROW crossing doesn't count as prior rights)	250	No
12-in gravity sewer on north side of I-20 between Sta 269+00 to Sta 275+00 & I-20 crossing at Station 269+00	252	No
8-in gravity sewer on north side of Longcreek Road between Broad River and relocated Garner Road	274	No
6-in water line on south side of Garner Ln	257-266	No
6-in Water line off Broad River Rd	285	No
Longcreek Drive heading east beyond relocated Garner Road tie-in	Beyond project limits	No

*\*City of Columbia did not provide any prior rights for these tracts. It is assumed that they do not have prior rights. DBT to verify.*

### **Recommendation**

With the clear and proper evidence provided on the existing SCDOT plans and easement documentation, it is our recommendation for approval of the prior rights for items listed in this certification should they be impacted.

RECOMMENDED BY:

\_\_\_\_\_  
Oriana Roumillat, P.E.  
Utility Coordinator – STV Inc.

REVIEWED BY:

*Chris Lacy*  
\_\_\_\_\_  
Chris Lacy, P.E.  
SCDOT Design Manager for Mega Projects

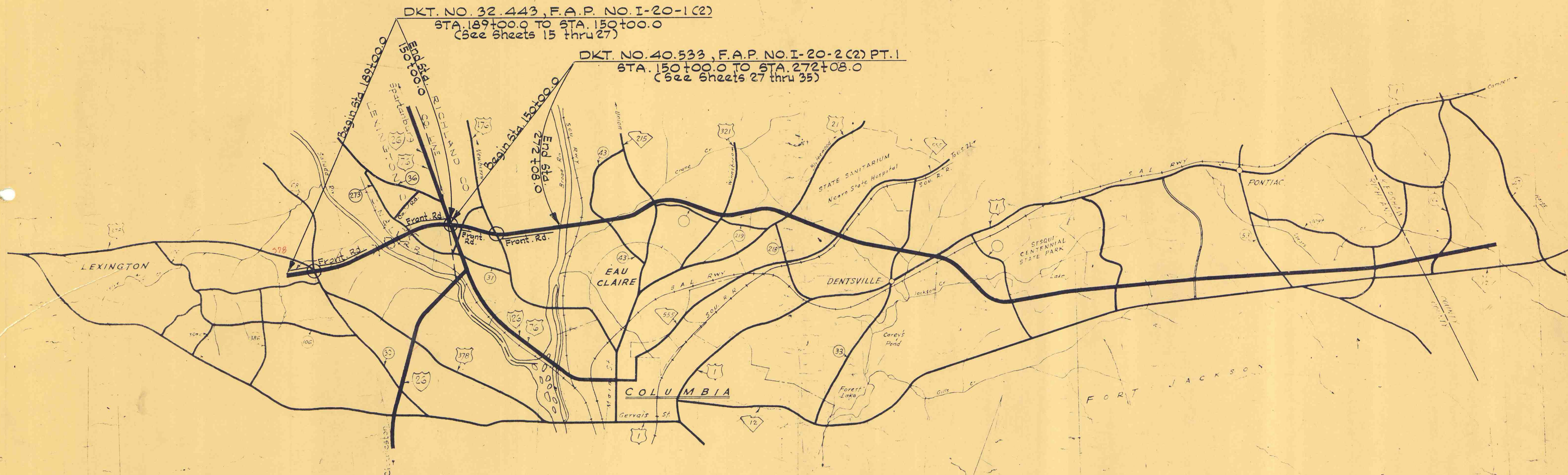


**SOUTH CAROLINA  
STATE HIGHWAY DEPARTMENT  
COLUMBIA**

NOTE: SEE FOLLOWING SHEET FOR SUMMARY  
OF QUANTITIES AND MILEAGE

DKT. NO. 32.443, F.A.P. NO. I-20-1(2)  
STA. 189+00.0 TO STA. 150+00.0  
(See Sheets 15 thru 27)

DKT. NO. 40.533, F.A.P. NO. I-20-2(2) PT. I  
STA. 150+00.0 TO STA. 272+08.0  
(See Sheets 27 thru 35)



BRIDGES TO BE CONSTRUCTED							
UNDER SEPARATE CONTRACT:							
RT. 378		STA. 0+00±	F.A.P.	NO. I-IG-20-1(C)			
SALUDA RIVER	"	81±	"	"	"	"	"
C.N.&L. R.R.	"	92±	"	"	"	"	"
RD. 273	"	112±	"	"	"	"	"
RT. I-26	"	150±	"	"	"	"	"
RD. 492	"	161±	"	I-IG-20-2(C)			
RT. 176	"	203±	"	"	"	"	"

APPROVED: *[Signature]* DATE: 2/1/68  
DATE HIGHWAY ENGINEER DATE

DEPARTMENT OF COMMERCE  
BUREAU OF PUBLIC ROADS

RECOMMENDED FOR APPROVAL.

DISTRICT ENGINEER DATE

APPROVED:

DIVISION ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

Note: All workmanship and material on this project to conform with South Carolina State Highway Department Standard Specifications for Highway Construction dated Nov. 1, 1955



INDEX OF SHEETS	
Sheet No.	1-1-A Title Sheet & Summary of Estimated Quantities
"	1-B-1-F Moving Items
"	2-A-2-Q Typical Sections
"	3 Intersection Std.
"	4-4-A Superlevation
"	5 Traffic Control Devices
"	6 Highway Construction Sign
"	6-A Paved Center Ditch
"	7 Concrete Median & Curb (9"x15")
"	7-A Concrete Gutter
"	8-8-E Catch Basins & Drop Inlet
"	9 Rip Rap Std.
"	9-A Concrete Steps
"	10 Spur Dike
"	11 Spring Box
"	12 Metal Slope Drain
"	13 Right of Way Markers
"	14-14-E Property Layouts
"	15-35 Plan & Profile Main Line
"	36 Rt. 378 Interchange Layout (Property)
"	37 " " " (Drainage)
"	37-A-37-C " " Traffic Layout & Nose Designs
"	38-44-A " " Plan & Profile of Legs
"	44-B Frontage Rd. Rt. Sta. 40+00 to Sta. 45+00 Profile
"	45-46 " " at Rt. 378 Plan & Profile
"	46-A " " " Sta. 170+ to Sta. 189+00 Profile
"	47 Rd. 273 Overhead Plan & Profile
"	47-A Frontage Rd. at Rd. 273 Profile
"	48 Rt. I-26 Interchange Layout (Property)
"	48-A " " " (Drainage)
"	48-B-48-D Off and On Ramps on I-26 at I-20
"	49-50-A Frontage Rd. at I-26 Interchange & Rd. 492 Profile
"	51-51-J Frontage Rd. & Detours at I-26 Interchange Profile
"	52 Rt. 176 Interchange Layout (Property)
"	53 " " " (Drainage)
"	54 " " Profile
"	55-59 " " Interchange Legs Profile
"	60 4' x 6' R. C. Box Culvert Sta. 26+04
"	61 6' x 6' " " " " 67+04
"	62 4' x 6' " " " " 109+44
"	63-63-A (10' x 7') <sup>3</sup> " " " " 134+25
"	64-64-A 4' x 4' " " " " 196+50
"	64-B 5' x 6' " " " " 247+99.5
"	64-C 8' x 10' " " " " 173+00
"	64-D 4' x 4' " " " " 10+55
CROSS SECTIONS	
"	65-176 Main Line
"	177-245-D Rt. 378, Interchange Legs & Frontage Rds.
"	246-246 Rd. 273 Overhead & Frontage Rd. Connection
"	266-353 Rt. I-26 Interchange Legs & Rd. 492
"	354-377 Rt. 176, Interchange Legs & Frontage Rd.

CONVENTIONAL SIGNS	
State Line	Trolley Poles
County Line	Power Poles
City or Town Limits	Telephone or Telegraph Poles
Property Line	Marsh
Fence	Trees
Retaining Wall	Brush
Existing Road	Slumps
Proposed Road	Buildings
Railroad	Bridge
Levee or Embankment	Concrete Box Culvert
Guard Rail	Pipe Culvert
Point of Intersection (P. I.)	Drop Inlet and Culvert
	Hub on Center Line

LEGEND	
PROPOSED PROJECT	PAY
OTHER ROADS	ER

SOUTH CAROLINA  
STATE HIGHWAY DEPARTMENT  
COLUMBIA

**PLAN AND PROFILE OF PROPOSED  
STATE HIGHWAY**  
DKT. NOS. 32.443 & 40.533  
F.A.P. NOS. I-20-1(2) & I-20-2(2) PT. I  
LEXINGTON & RICHLAND COS.  
ROUTE I-20  
FROM RT. 378 TO BROAD RIVER

DKT. NO.	32.443	40.533
Net Length of Roadway	3.020	2.185
Net Length of Bridges	0.006	0.000
Net Length of Project	3.026	2.185
Length of Exceptions	0.158	0.000
Gross Length of Project	3.184	2.185

STA. 170+89.3 = STA. 0+00.0  
" 219+56.9 = " 226+30.0

Note: All workmanship and material on this project to conform with South Carolina State Highway Department Standard Specifications for Highway Construction dated Nov. 1, 1955.

FED. ROAD DIV. NO.	STATE	COUNTY	PROJECT NO.	F. A. PROJ. NO.	RT.	SHEET NO.	TOTAL SHEETS
3	S. C.	Lexington Richland	32.443 40.533	I-20-1(2) I-20-2(2)	I-20	1-A	377

SUMMARY OF ESTIMATED QUANTITIES			
	DKT. NO.	32.443	40.533
Clearing & Grubbing within Roadway	Nec.		
Unclassified Excavation	1.0	2.0	Ac.
Overhaul	865,945	909,131	C.Y.
Selected Material for Shoulders & Slopes	1,162,450	930,998	C.Y.H.M.
Earth Type Base Course (Pit Material)	5,057	2,723	C.Y.
* Scarifying, Mixing, etc.	28,329	9,170	C.Y.
Selected Porous Material	93,159	42,468	M.S.Y.
10" Uniform Macadam Base Course	1,661	1,642	C.Y.
Asphaltic Concrete Binder Course Type 2	35,286	27,036	S.Y.
Asphaltic Concrete Surface Course Type 1	4,996	3,003	Tons
Bituminous Surfacing (Dble. Treat.) Types 1-G	2,908	1,875	Tons
* Earth Type Base Course (Ground Surf. Mat.)	48,753	21,926	S.Y.
Concrete Curb & Gutter (2'-0")	10,000	5,000	C.Y.
Concrete Gutter (24" Bottom)	5,042	895	L.F.
4" Uniform Concrete Sidewalk	7,500	5,000	L.F.
Concrete Median		685	S.Y.
Concrete Curb (9"x15")	1,414	427	S.Y.
Catch Basin Type 1 Special	510		L.F.
" " " 2	3		Units
" " " 3	3		"
" " " 7	3		"
" " " 9	49	29	"
Drop Inlet (24"x36")	5		"
Spring Box		2	"
Class "A" Concrete	1,615.5	509.7	C.Y.
Reinforcing Steel	217,598	81,480	Lbs.
15" R. C. Culvert Pipe	2,076	1,332	L.F.
18" " " " "	3,470	2,594	"
24" " " " "	1,638	862	"
30" " " " "	314	518	"
36" " " " "	164		"
42" " " " "	132		"
48" " " " " (Extra Strength)	264	200	"
60" " " " " (Extra Strength)	132		"
30" " " " " (Extra Strength)	240		"
36" " " " " "	620		"
15" Reldid Pipe Culvert	170	44	"
18" " " " "	84		"
24" " " " "	48		"
6" C.M. Pipe Underdrain (Perforated)	1,500	1,000	"
8" " " " "	2,250	1,500	"
6" T.C. " " " "	1,500	1,000	"
8" " " " "	2,250	1,500	"
8" C.M. Pipe Slope Drains	1,200	800	"
Metal Headwalls	30	20	Units
Right of Way Markers	130	85	Units
Untreated Timber Cut-Off Walls	96		L.F.
Aggregate No. 12 for Pipe Underdrain	1,065	710	C.Y.
Rip Rap	1,100	700	Tons
Seeding of Shoulders & Slopes	288,759	236,041	M.S.Y.
Fertilizer (4-12-12)	29.9	24.4	Tons
Nitrogen (Actual)	2,866	2,342	Lbs.
Agricultural Lime	59.7	48.8	Tons
Removal & Disposal of Conc. Pavement		40	S.Y.

NOTE:  
SEE SHEETS 1-B THRU 1-F FOR MOVING ITEMS  
AND FENCES

APPROVED: *T. Chaudhry* 2/14/63  
STATE HIGHWAY ENGINEER DATE

DEPARTMENT OF COMMERCE  
BUREAU OF PUBLIC ROADS

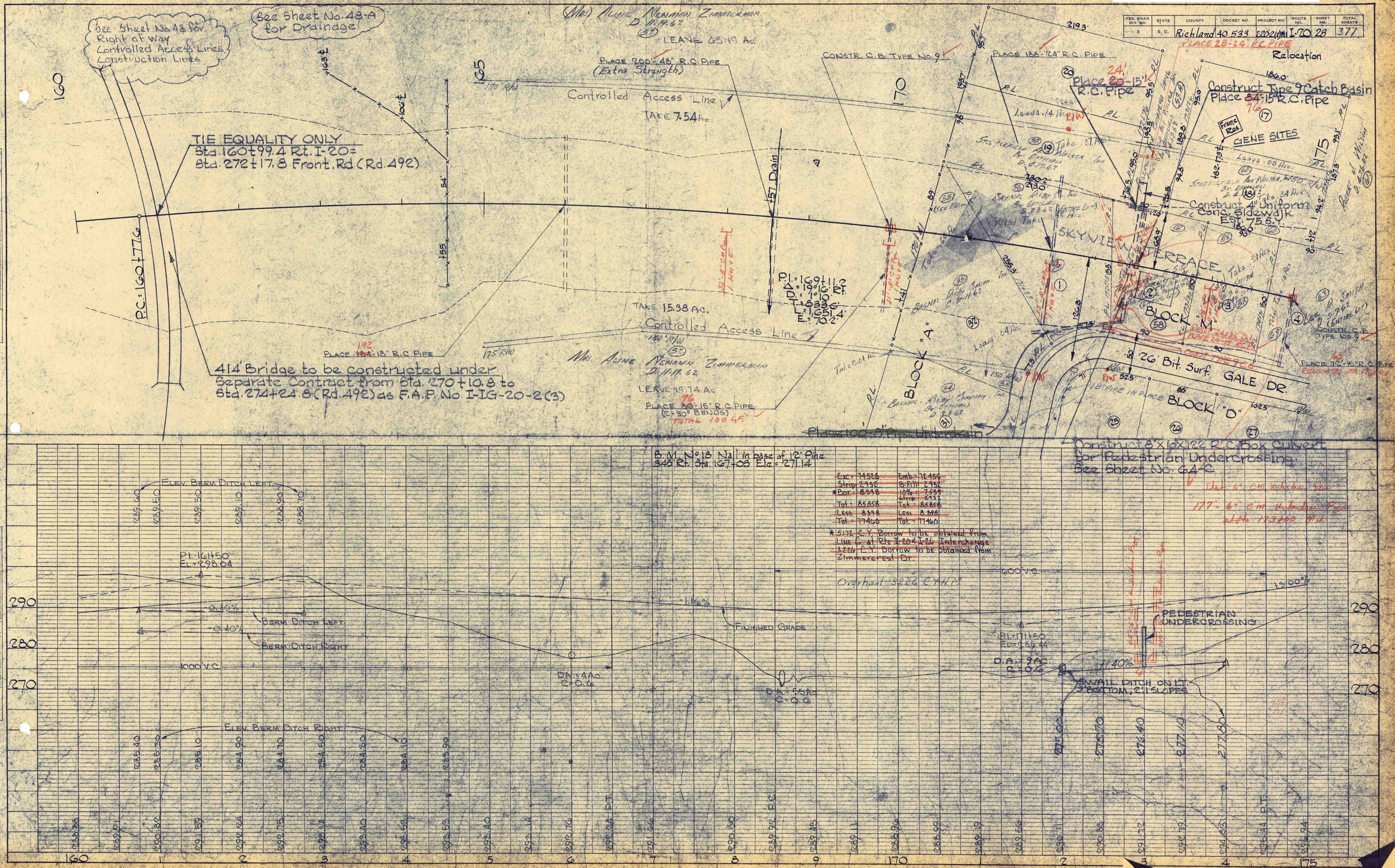
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DISTRICT ENGINEER

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DIVISION ENGINEER



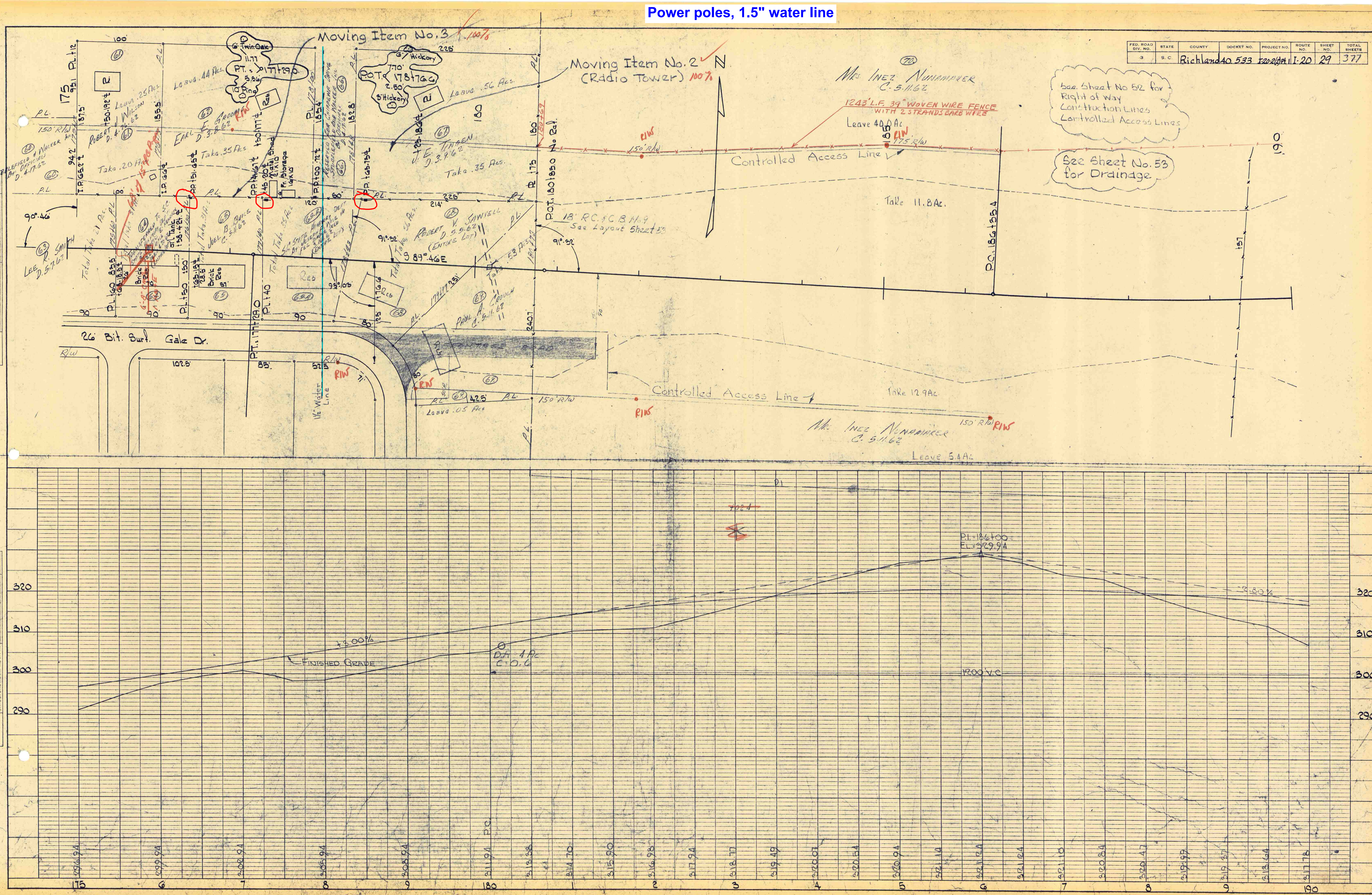
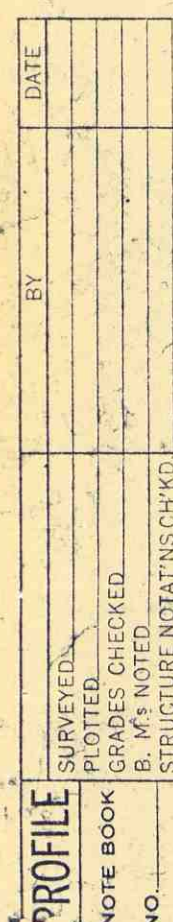
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NOTED			
GRADES CHECKED			
STRUCTURE NOTED			





FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40 533	120-2/14	I-20	29	377





PLAN	SURVEYED	DATE
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PROFILE	SURVEYED	DATE
	GRADES CHECKED	BY
	NOTE BOOK	NO.
	STRUCTURE NOTED	

No utilities

FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40.533	12020	I-20	30	377

A. B. NUNAMAKER  
C. 5.11.62  
(74)

205

P.T. 204+38.7

N 63° 11' E

68° 26' Tan. to Curves

A. B. NUNAMAKER  
C. 5.11.62  
(74)

A. S. NUNAMAKER  
C. 5.11.62  
(73)

Tie Equality Only  
Sta. 203+33.7 I-20, Dkt. 40.533 =  
Sta. 189+73.9 Rt. 176, F.A.P. No. 45-B Pt. 3

TIE EQUALITY ONLY  
Sta. 203+04.6 Rt. I-20 =  
Sta. 189+85.0 Rt. 176 Reloc.

252' Bridge to be constructed under  
Separate Contract from Sta. 188+57.0  
to Sta. 191+11.0 as F.A.P. No. I-IG-20-2(3)

See Sheet No. 52 for  
Right of Way  
Controlled Access Lines  
Construction Lines

See Sheet No. 53  
for Drainage

15" Pine  
(13.79)  
P.I. 195+54.3  
(11.87)  
15" Pine

P.I. = 195+54.3  
 $\Delta = 27^\circ 03' 11''$   
 $D = 1^\circ 30'$   
 $T = 918.9'$   
 $L = 1803.3'$   
 $E = 109.0'$

Mrs. INEZ NUNAMAKER  
C. 5.11.62

4' x 4' Culvert of 3 C.B. No. 9  
See Layout Sheet 53

Mrs. INEZ NUNAMAKER  
C. 5.11.62

15" Pine  
8.81  
P.O.C. 198+00.0  
15.42  
15" Pine

36' Bar 3  
A. 3  
142.4'

18" RC & CB No. 9  
See Layout Sheet 53

321' to P.L.

195

200

(FOR R/W SEE SHEET # 52)

P.C. 188+13.2

22' 6" 2nd Conc.

B.M. No. 21 Nail in base P.P.  
140' Rt. Sta. 203+95 El. = 320.51

Exc. 63.095 Emb. 57.363  
Tot. 107.458  
Tot. 63.095

600' V.C.

-2.80%

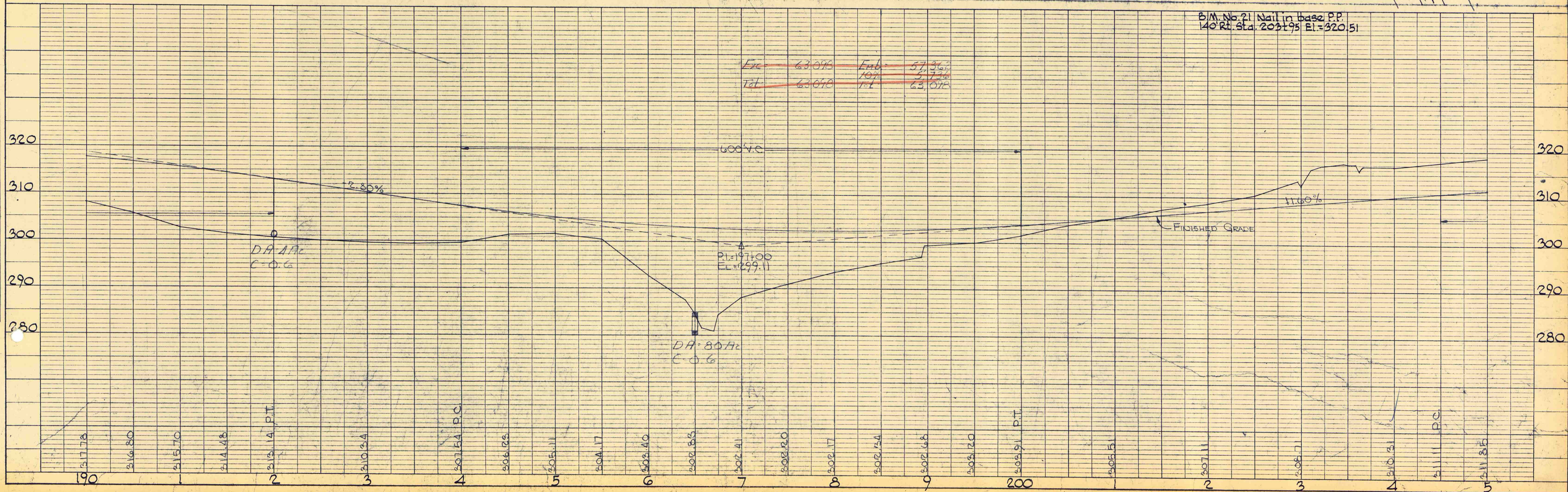
11.60%

FINISHED GRADE

DA = 44' C = 0.6

P.I. = 197+00  
L = 299.11

DA = 80' C = 0.6

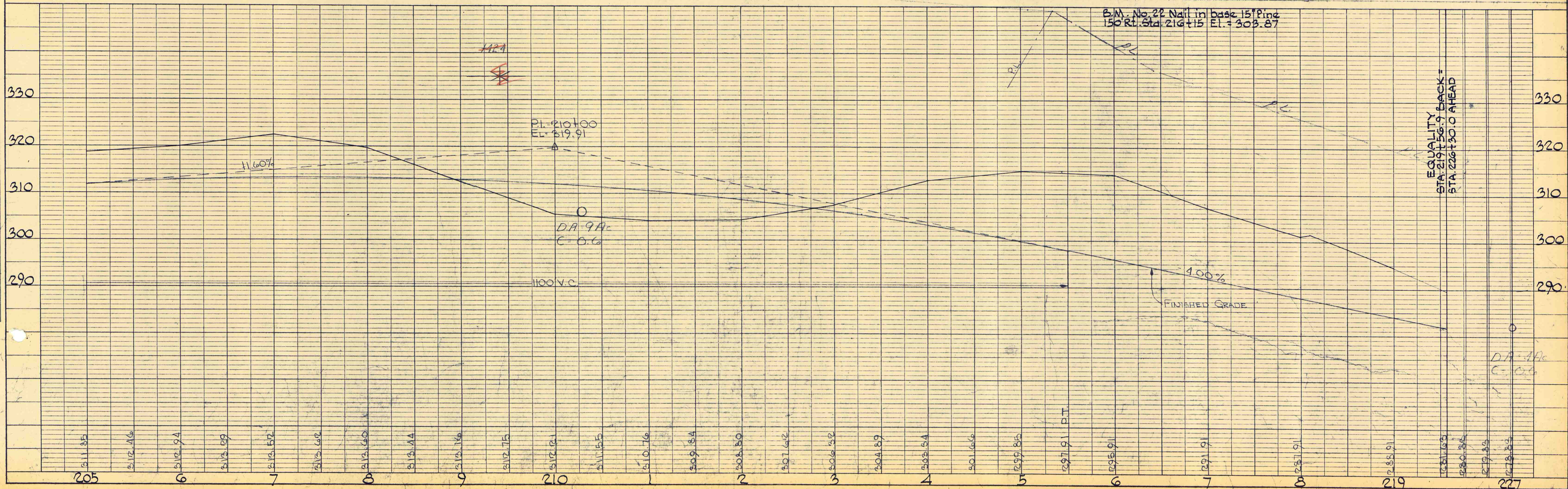
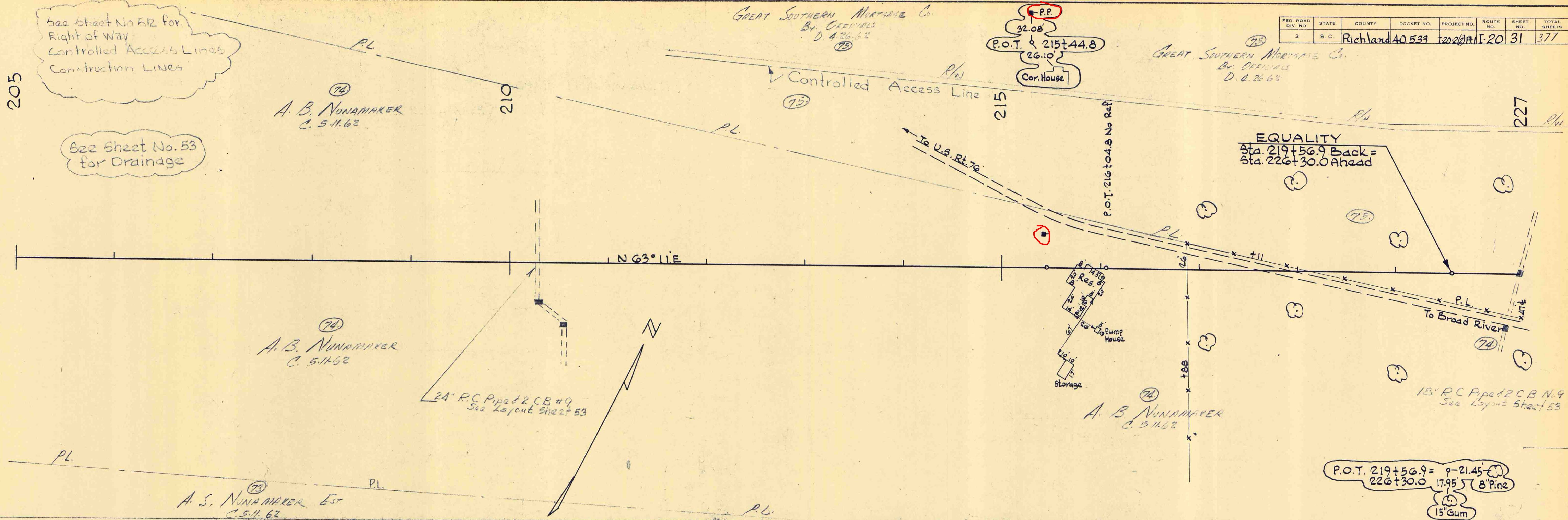




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NOTE BOOK	
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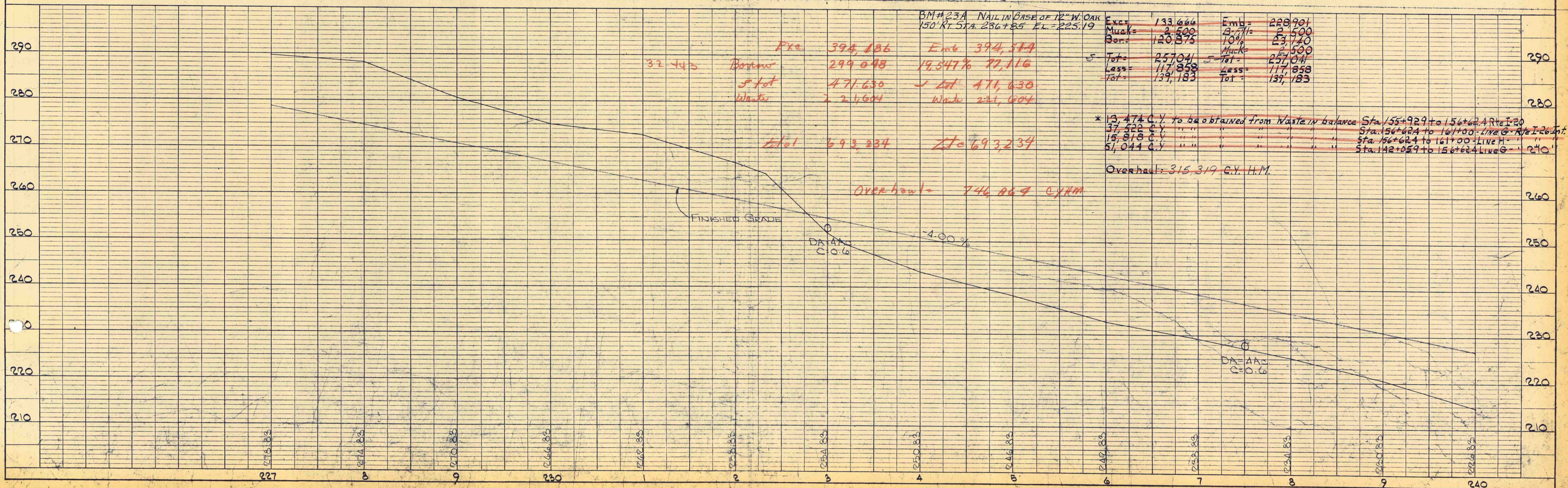
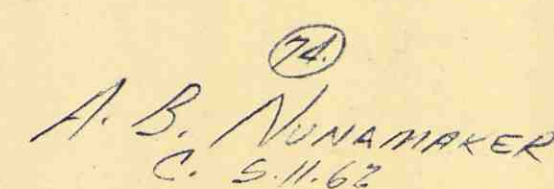
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SURVEYED	
NOTE BOOK	
GRADES CHECKED	
B. M. NOTED	
STRUCTURE NOTATION	
NO.	

FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40 533	120-20-11	20	31	377



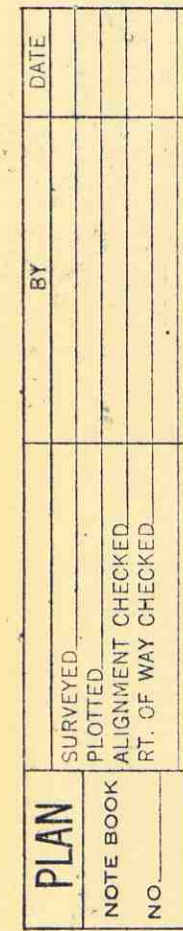


C.W. HAYNES & COMPANY OWNERS  
C.D. SPANKLER, JR. ASST. C. OFFICERS  
BY OFFICIALS  
D. 4. 26. 62



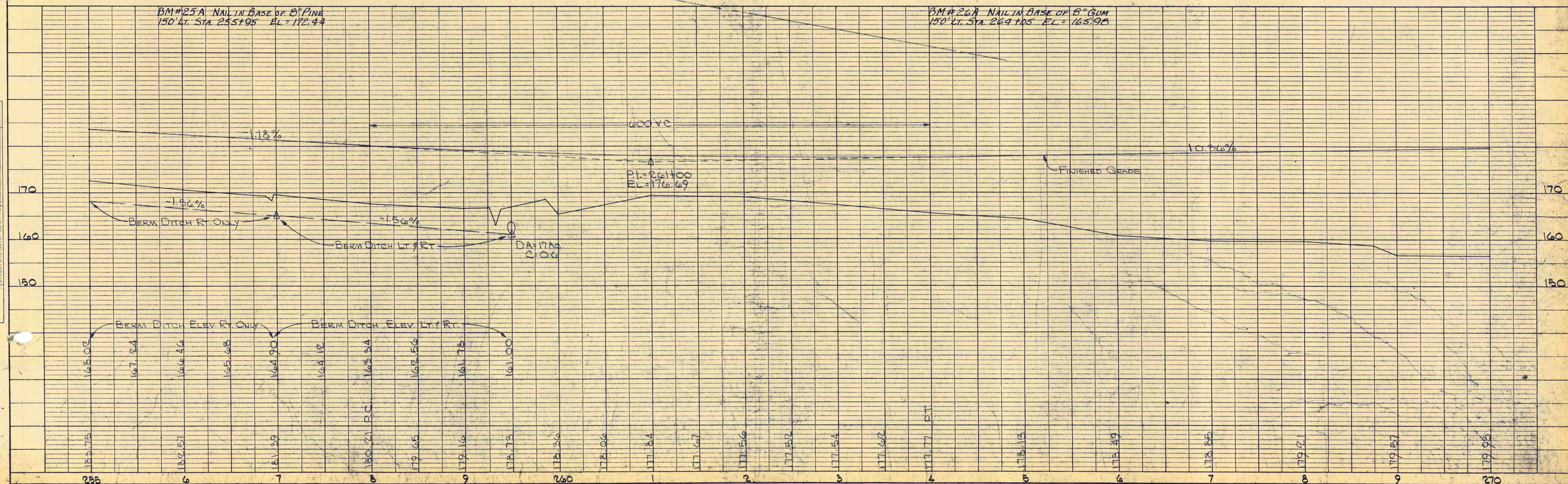
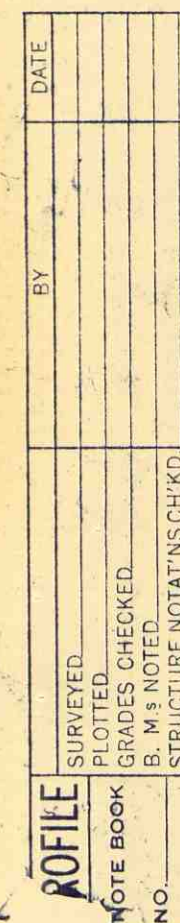
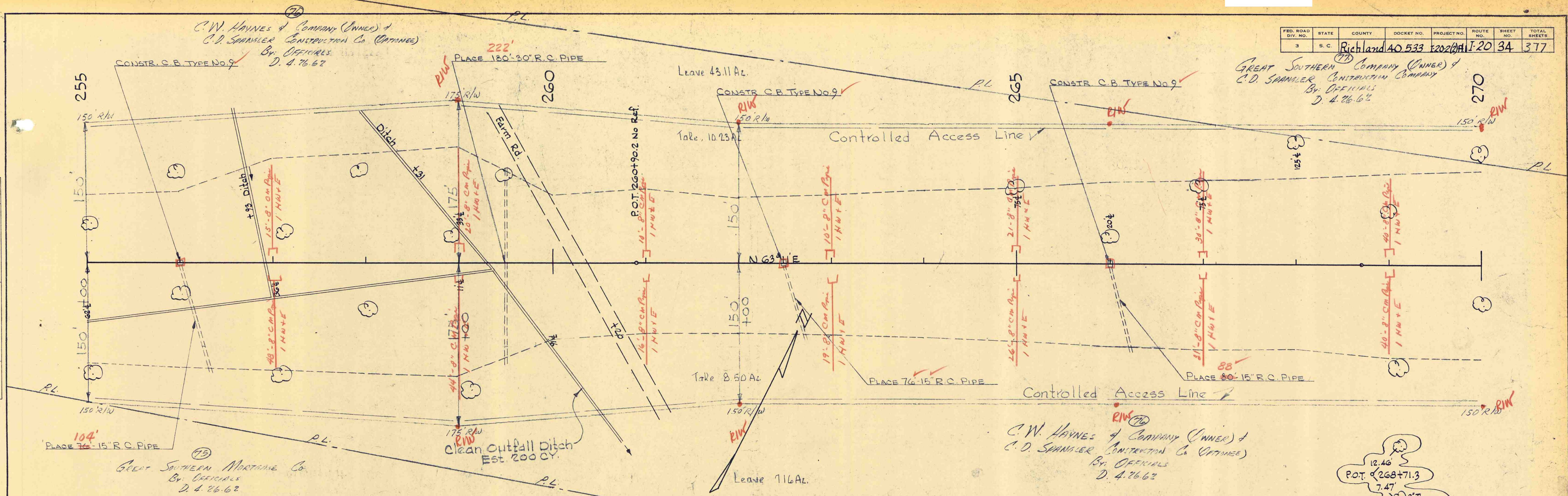
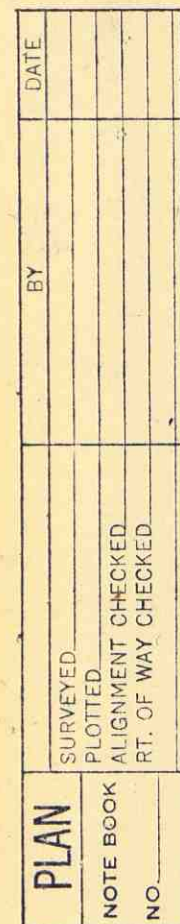


FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40,533	102081	120	33	377





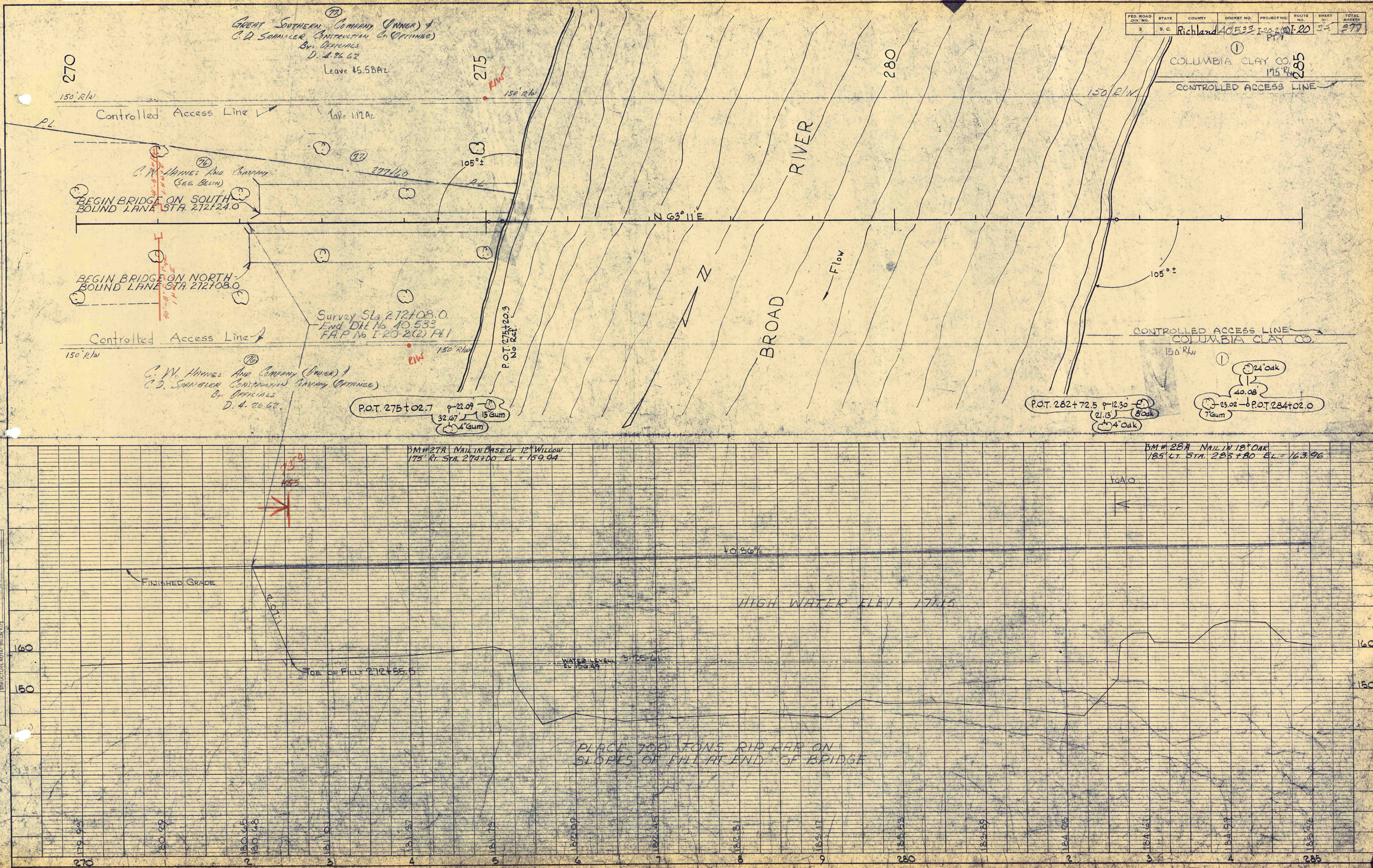
GREAT SOUTHERN <sup>(77)</sup> COMPANY (OWNER) &  
C.D. SPANGLER CONSTRUCTION COMPANY  
By: OFFICIALS  
D. 4.26.62



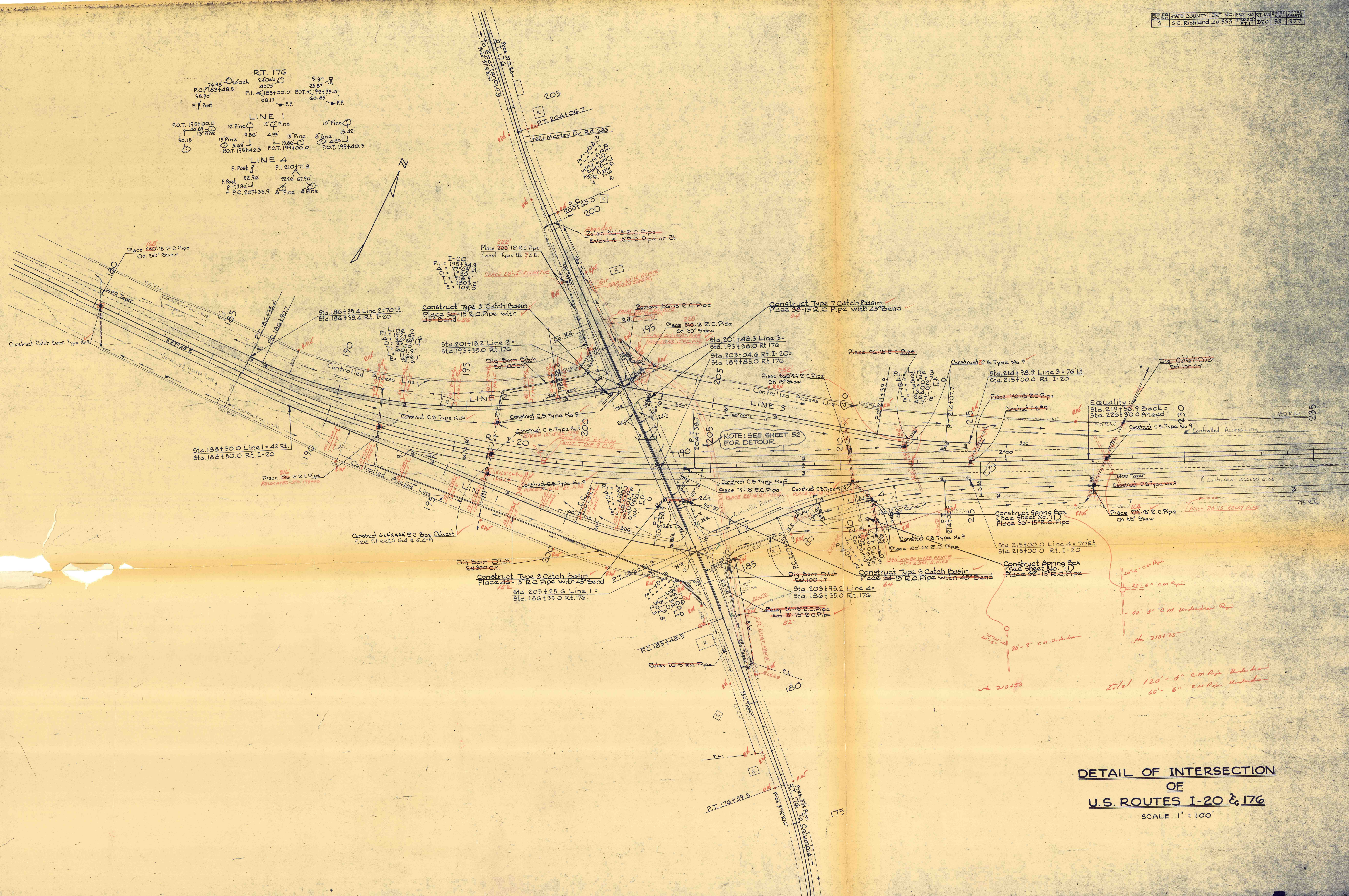


PLAN	SUPPLIED	BY	DATE
NOTE BOOK	PLOTTED		
	ALIGNMENT CHECKED		
NO.	RT. OF WAY CHECKED		

<b>PROFILE</b>	SURVEYED _____	BY _____	DATE _____
NOTE BOOK _____	PLOTTED _____		
NO. _____	GRADES CHECKED _____		
	B. M.'S NOTED _____		
	STRUCTURE NOTATIONS ON KID _____		





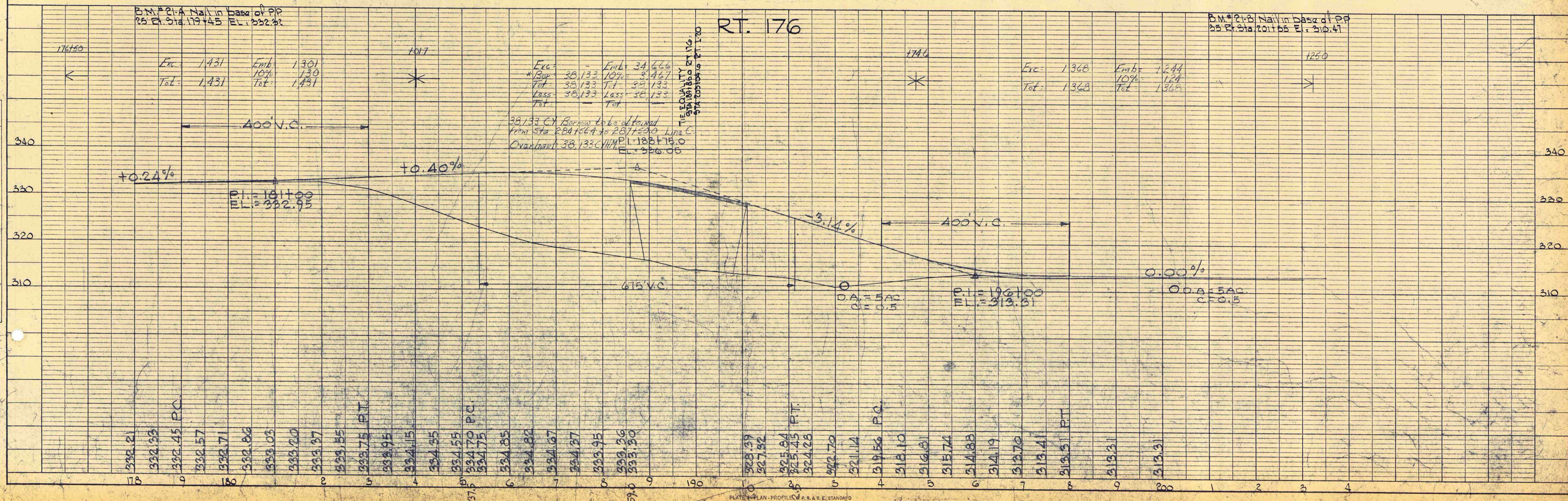


DETAIL OF INTERSECTION  
 OF  
 U.S. ROUTES I-20 & 176  
 SCALE 1" = 100'



PLAN	SURVEYED	DATE
	PLOTTED	
	ALIGNED CHECKED	
	BY	

PROFILE	SURVEYED	DATE
	PLOTTED	
	GRADES CHECKED	
	STRUCTURE NOTATION	



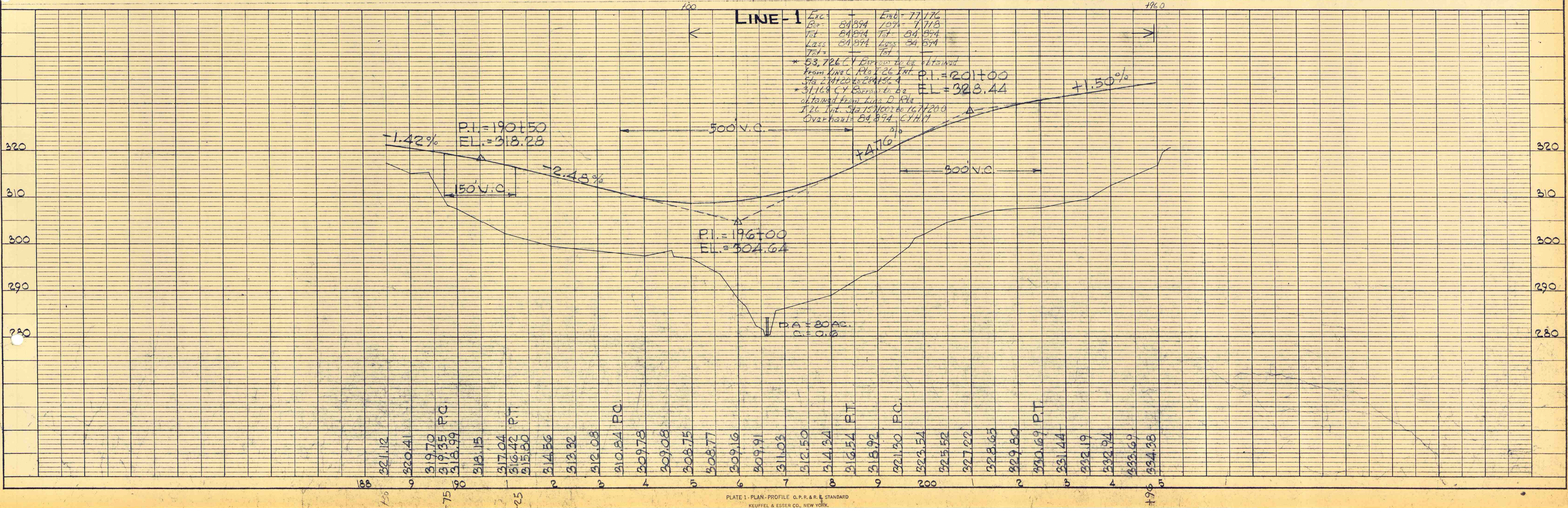


FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	RICHLAND	40.633	F-20-203	I-20	55	377

I-20-U.S. 176 INTERCHANGE LINE

PLAN	NO.	
	DATE	
	BY	
	SURVEYED, PLOTTED, CHECKED, RT. OF WAY CHECKED	

PROFILE	NO.	
	DATE	
	BY	
	SURVEYED, PLOTTED, GRADES CHECKED, STRUCTURE NOTATIONS CHECKED	

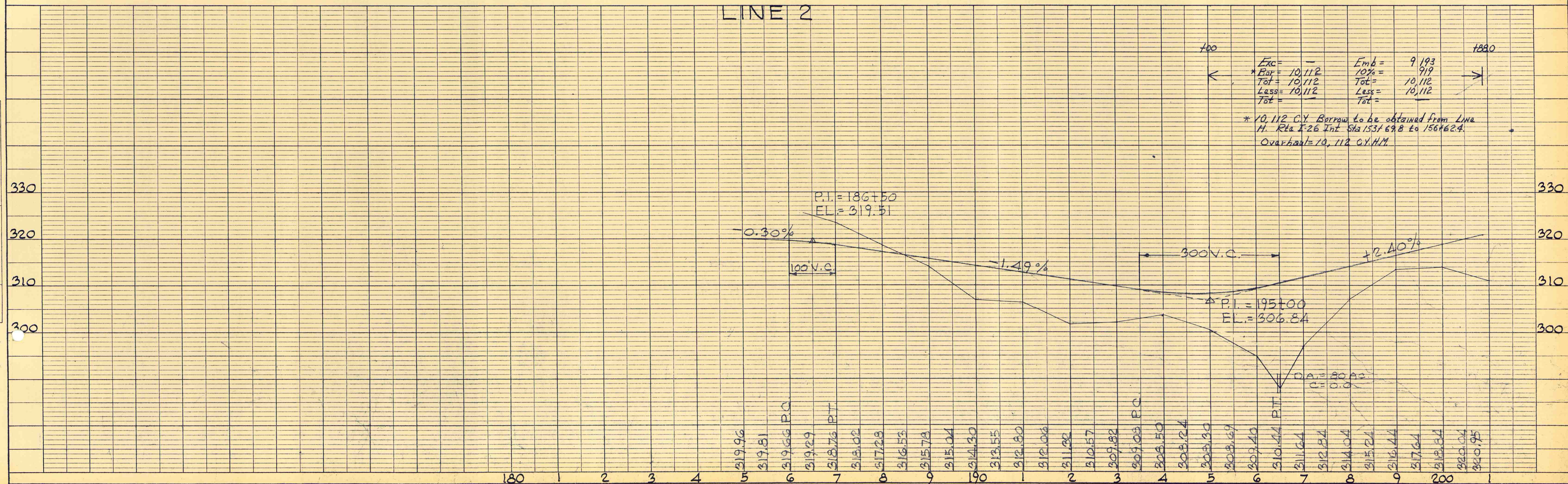




FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40.533	T-20-20	T-20	56	377

PLAN	NOTE BOOK NO.	SURVEYED PLOTTED ALIGNMENT CHECKED BY	DATE
			BY

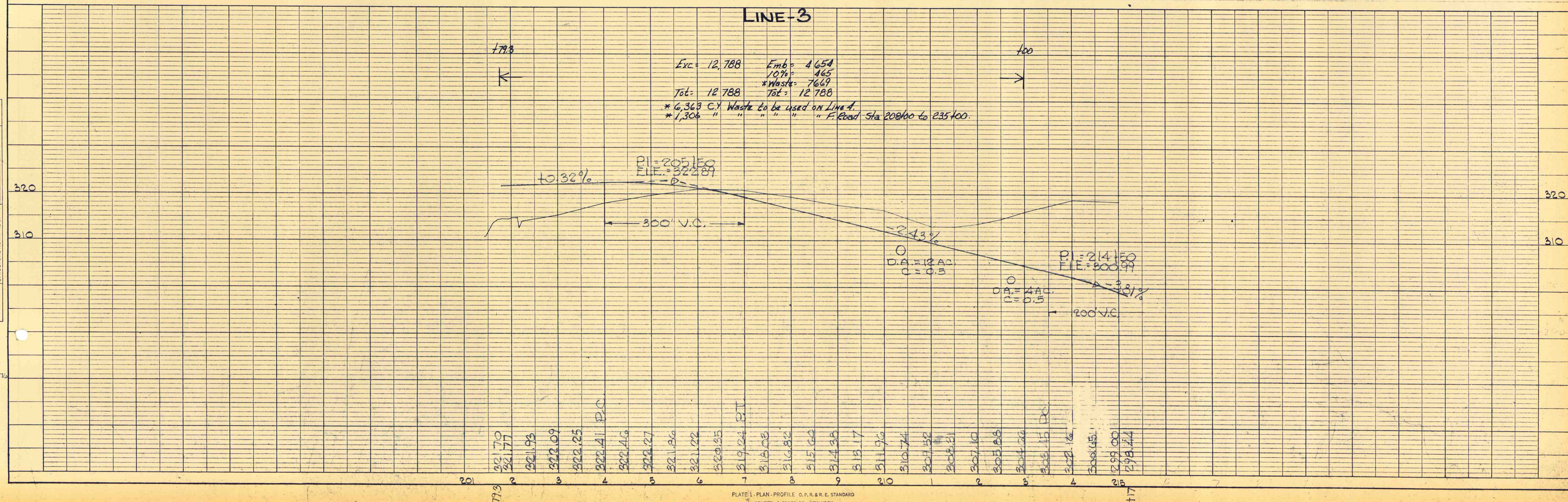
PROFILE	NOTE BOOK NO.	SURVEYED PLOTTED GRADES CHECKED BY	DATE
			BY





FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	RICHLAND	40.533	F20-260	X-20	57	377

PLAN			
NOTE BOOK	SURVEYED	BY	DATE
NO.	PLOTTED _____ ALIGNMENT CHECKED _____ RT. OF WAY CHECKED _____		





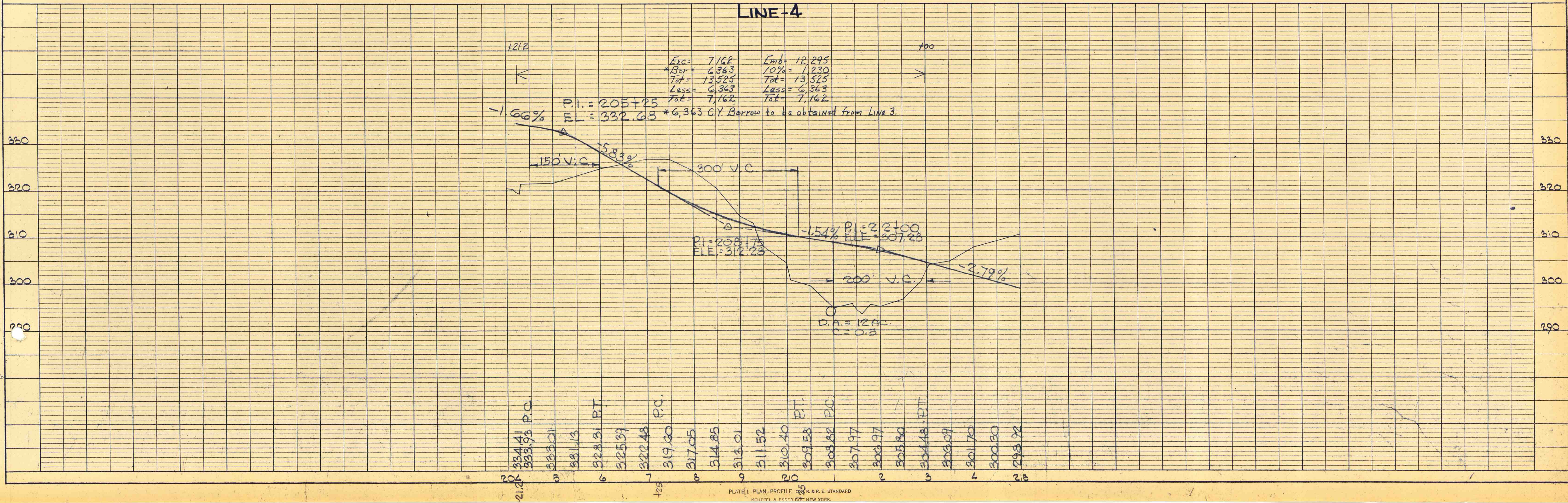
FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	RICHLAND	10.533	120.10.1-20	58	377	

I-20-U.S. 176 INTERCHANGE LINE

4

PLAN	NO.	SURVEYED PLOTTED CHECKED BY	DATE

PROFILE	NO.	SURVEYED PLOTTED CHECKED BY	DATE





PLAN	BY	DATE
NOTE BOOK	SURVEYED	
NO.	PLOTTED	
	ALIGNMENT CHECKED	
	RT. OF WAY CHECKED	

<b>PROFILE</b>  NOTE BOOK  NO. _____ STRUCTURE NO. TATUNG CHUNG	SURVEYED _____	BY _____   DATE _____
	PLOTTED _____	
	GRADES CHECKED _____	
	B. M.'S NOTED _____	
	STRUCTURE NO. TATUNG CHUNG	

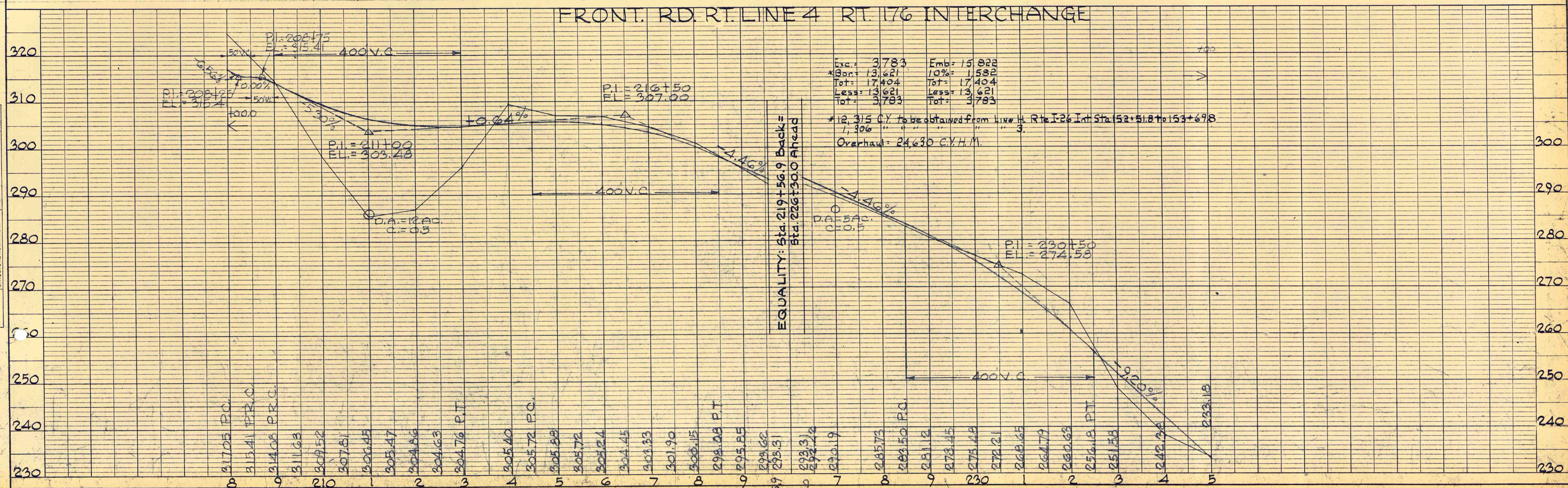


PLATE 1 - PLAN & PROFILE OF R. & R. E. STANDARD  
KNEE & ESSER CO. NEW YORK



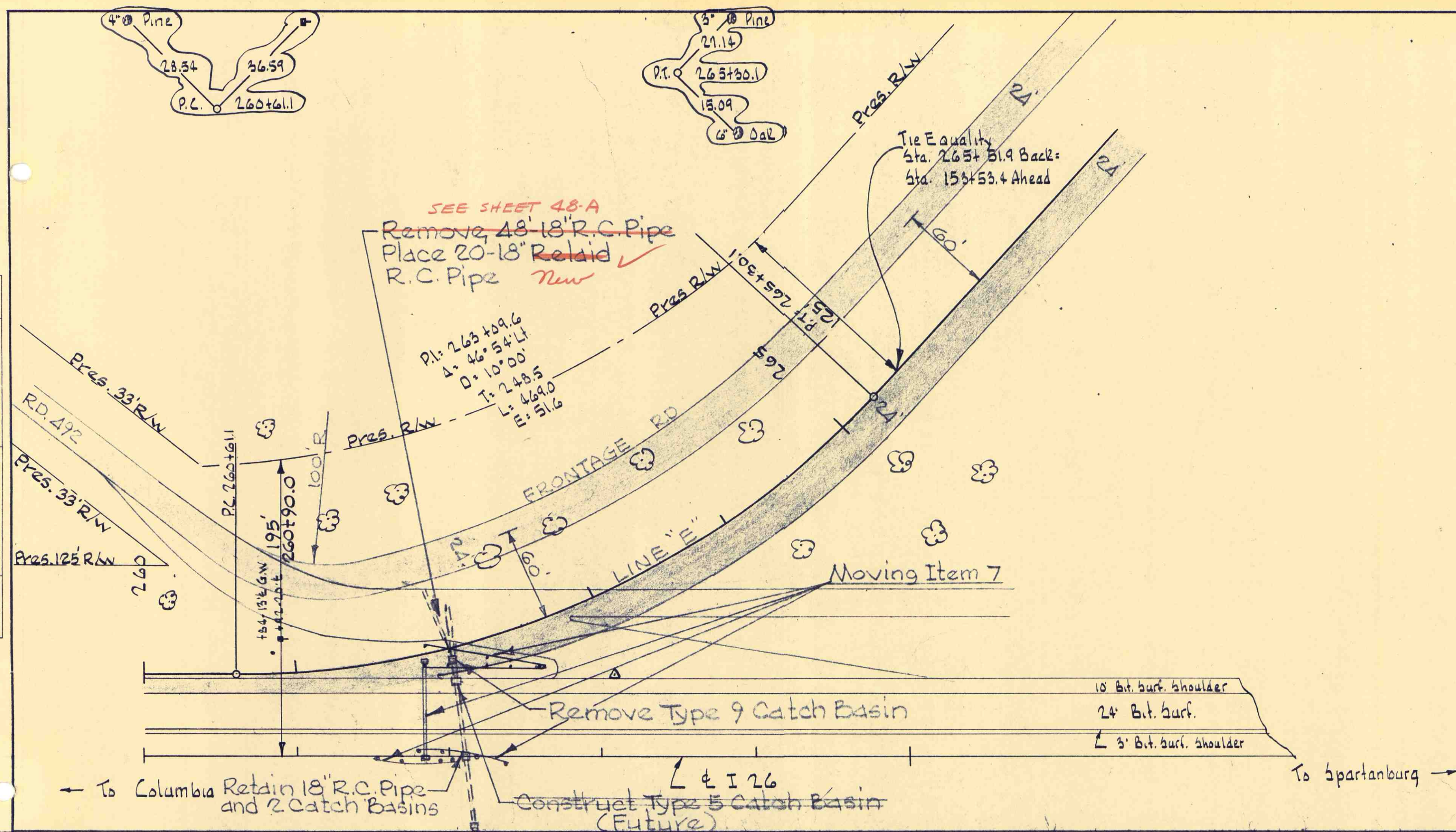




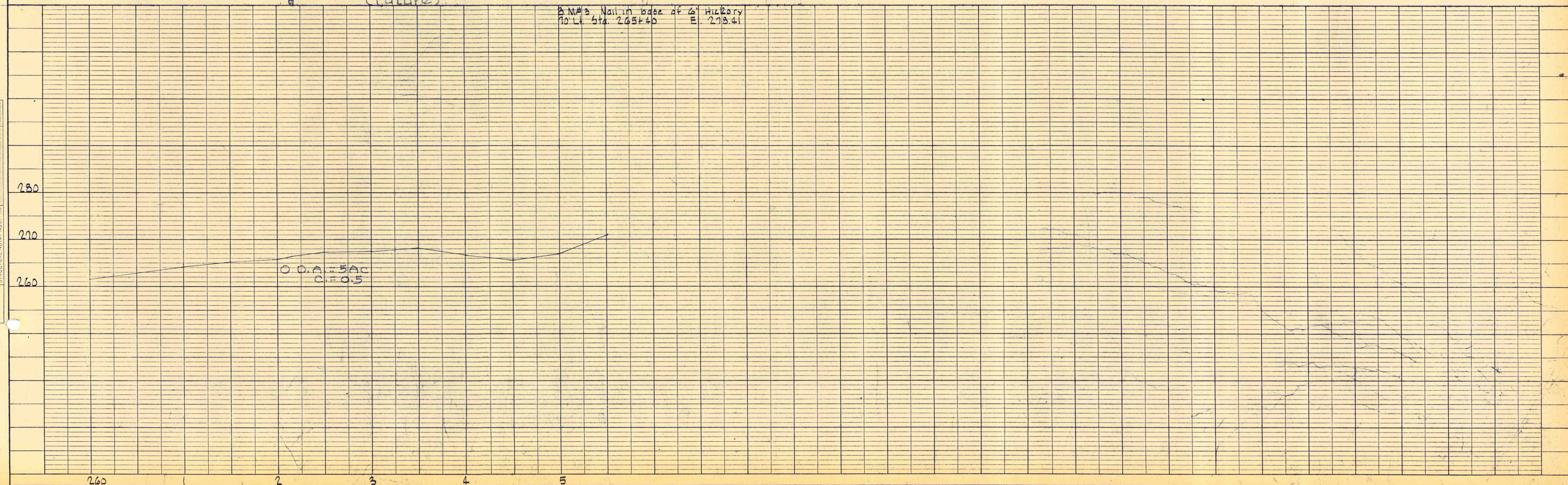
FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40-533	I-20-202	I-20	48-C	377

LINE "E"

PLAN	SURVEYED	DATE
	PLOTTED	BY
	NOTE BOOK	ALIGNED CHECKED
	NO.	RET. OF WAY CHECKED



PROFILE	SURVEYED	DATE
	PLOTTED	BY
	NOTE BOOK	GRADES CHECKED
	NO.	STRUCTURE NOTATION CHNG

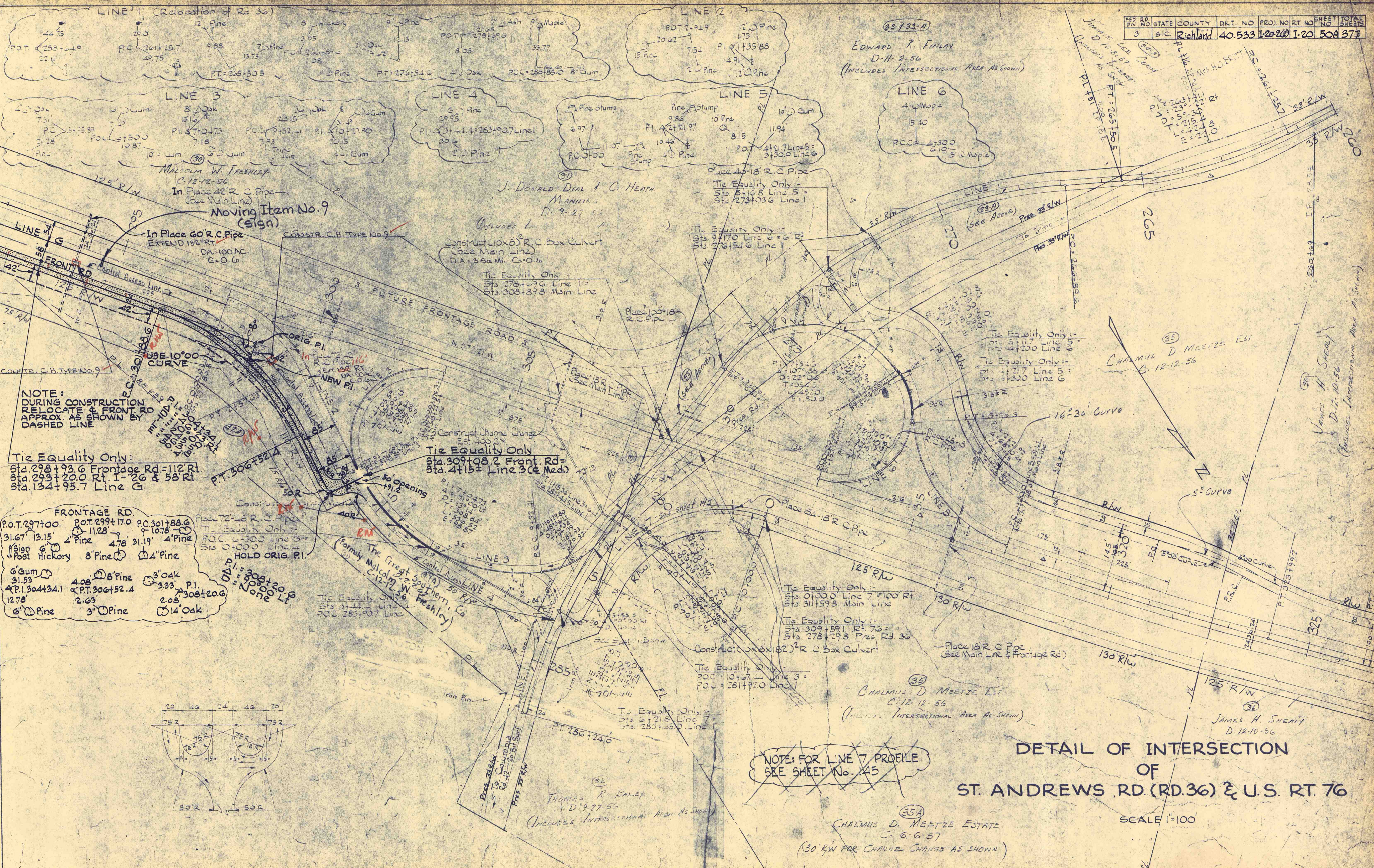








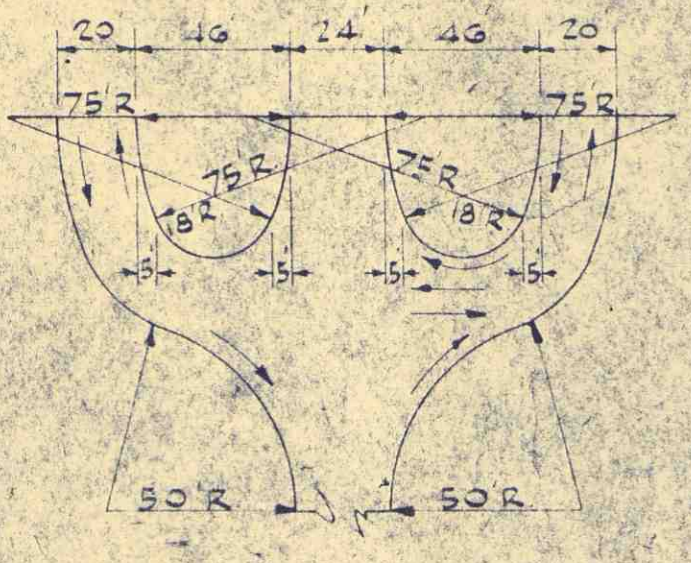
EDWARD R. FINLAY  
D-11-2-56  
(INCLUDES INTERSECTIONAL AREA AS SHOWN)



NOTE:  
DURING CONSTRUCTION  
RELOCATE & FRONT RD.  
APPROX. AS SHOWN BY  
DASHED LINE

Tie Equality Only:  
Sta. 298+93.6 Frontage Rd. = 112' Rt.  
Sta. 293+20.0 Rt. 1-26 & 58 Rt.  
Sta. 134+95.7 Line G

FRONTAGE RD.  
P.O.T. 297+00 P.O.T. 299+17.0 P.C. 301+88.6  
31.67 13.15 4" Pine 11.28 9 1078  
Sign 6" 4" Pine 4.78 31.19 4" Pine  
Post Hickory 8" Pine 4" Pine  
6" Gum 31.53 4.08 8" Pine 3.33 P.I.  
4 P.I. 304+34.1 2 P.T. 306+52.4 2.08 308+20.6  
12.78 2.63 2.08 308+20.6  
6" Pine 3" Pine 14" Oak



NOTE: FOR LINE 7 PROFILE  
SEE SHEET No. 145

# DETAIL OF INTERSECTION OF ST. ANDREWS RD. (RD. 36) & U.S. RT. 76

SCALE 1"=100'

CHALMUS D. MEETZE ESTATE  
C-6-6-57  
(30' RW FOR CHANNEL CHANGES AS SHOWN)

THOMAS R. RANLEY  
D-9-27-56  
(INCLUDES INTERSECTIONAL AREA AS SHOWN)

CHALMUS D. MEETZE ESTATE  
C-12-12-56

JAMES H. SHELLEY  
D-12-10-56  
(INCLUDES INTERSECTIONAL AREA AS SHOWN)



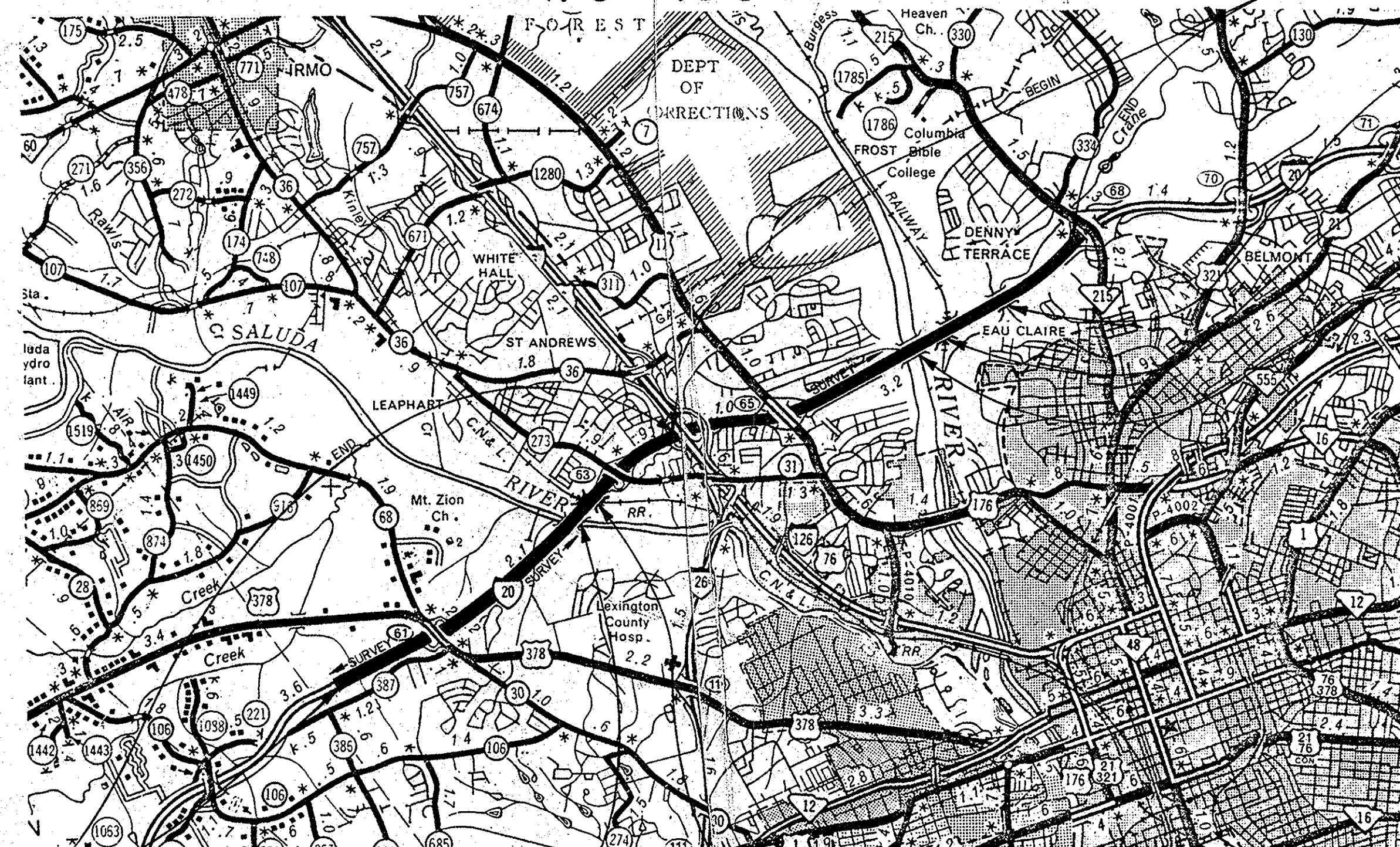
SOUTH CAROLINA  
DEPARTMENT OF HIGHWAYS  
AND PUBLIC TRANSPORTATION  
COLUMBIA

FED. RD. DIV. NO.	STATE	COUNTY	FILE NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S.C.	LEXINGTON RICHLAND	32.806 40.249A	IR-IRG-20-2(57)	I-20	1	

SEE SHEET NO. I-A AND I-B FOR SUMMARY OF ESTIMATED QUANTITIES  
SEE SHEET NO. I-C FOR MOVING ITEMS AND RESET FENCES

SHEET NO.	DESCRIPTION
1	TITLE SHEET
1A&1B	QUANTITY SHEETS
1C	MOVING ITEMS & RESET FENCE
2-2C	TYPICAL SECTIONS
3	STAGE CONSTRUCTION TYPICAL SECTION
4-4E	DETAIL OF CATCH BASINS & DROP INLET
5	DETAIL OF BEVELED END SECTIONS FOR CONCRETE PIPE CULVERTS
6	DETAIL OF ROUNDING CUT SLOPES
7	DETAIL OF CONCRETE SLOPE PROTECTION PAVEMENT (4" UNIFORM)
8-8I	DETAIL OF GUARD RAIL ENERGY ABSORBING TERMINAL, HEX-FOAM SANDWICH IMPACT ATTENUATOR AND TRANSITION END TREATMENT
9-9G	DETAIL OF GUARD RAIL STANDARDS
10	DETAIL OF CONCRETE CURB AND GUTTER
11	DETAIL OF TEMPORARY EROSION CONTROL
12	DETAIL OF PAVED DITCHES
13	DETAIL OF TEMPORARY CONCRETE MEDIAN BARRIER
14-14B	DETAIL OF CONCRETE MEDIAN BARRIER
15-15QQ	TRAFFIC CONTROL & TEMPORARY DRAINAGE STRUCTURES IN MEDIAN
16-16V	PAVEMENT MARKINGS
17-17N	LIGHT STANDARD FOOTING DETAILS
18-18ZZ	SIGNING DETAILS
19-19NN	PLAN LOCATIONS AND FOOTING DETAILS OF PORTIONS OF BRIDGE COLUMNS TO BE CONSTRUCTED IN MEDIAN WITH THIS CONTRACT. (BRIDGES TO BE CONSTRUCTED IN FUTURE CONTRACT.)
20-24	DETAIL OF INTERCHANGES (ROUTE 378, 273, I-26, I-76 & 215)
25-25MM	PAVEMENT AND WALL GRADES - ROUTE I-20
26	GENERAL CONSTRUCTION NOTE
27-56	PLAN AND PROFILE - ROUTE I-20
57-122	CROSS SECTIONS - ROUTE I-20 (IN MEDIAN THRU-OUT & ON OUTSIDE FROM STA. 185+00 TO STA. 227+00 LEXINGTON COUNTY)
123-233	CROSS SECTIONS - ROUTE I-20 (OTHER VARIOUS LOCATIONS ON OUTSIDE OF TRAVELWAY)
234-237	CROSS SECTIONS LINE A ROUTE 378 INTERCHANGE
238-242	CROSS SECTIONS LOOP A ROUTE 378 INTERCHANGE
243-246	CROSS SECTIONS LINE B ROUTE 378 INTERCHANGE
247-251	CROSS SECTIONS LOOP B ROUTE 378 INTERCHANGE
252-253	CROSS SECTIONS LINE A ROUTE I-26 INTERCHANGE
254-259	CROSS SECTIONS LINE B ROUTE I-26 INTERCHANGE
260-262	CROSS SECTIONS LINE C ROUTE I-26 INTERCHANGE
263-269	CROSS SECTIONS LINE D ROUTE I-26 INTERCHANGE
270-274	CROSS SECTIONS LINE I ROUTE I-76 INTERCHANGE
275-280	CROSS SECTIONS LINE 2 ROUTE I-76 INTERCHANGE
281-284	CROSS SECTIONS LINE 3 ROUTE I-76 INTERCHANGE
285-287	CROSS SECTIONS LINE 4 ROUTE I-76 INTERCHANGE

PLAN AND PROFILE OF PROPOSED  
STATE HIGHWAY  
LEXINGTON & RICHLAND COUNTIES  
FILE 32.806 & FILE 40.249A F. A. PROJ. IR-IRG-20-2(57)  
ROUTE I-20  
FROM: WEST OF ROUTE 378  
TO: ROUTE 215



FILE 40.249A F.A. PROJ. IR-IRG-20-2(57) ROUTE I-20  
FROM: STA. 150+000 TO STA. 377+000  
(SEE SHEET NOS. 41 THRU 56)

EXISTING 300'-0" BRIDGE TO BE WIDENED WITH  
R.C. AND PRESTRESSED TWIN OVERPASS OVER  
CRANE CREEK AND ROAD S-43 FROM STA. 323+43.00  
TO: STA. 326+43.00 (ALONG ROUTE I-20)  
SEE BRIDGE PLANS FILE 40.180A.4

EXISTING 218'-0" BRIDGE TO BE WIDENED WITH  
R.C. AND PRESTRESSED OVER SOUTHERN RAILROAD  
AND FRONTAGE ROAD FROM STA. 294+93.00  
TO: STA. 297+11.00 (ALONG ROUTE I-20)  
SEE BRIDGE PLANS FILE 40.180A.5

EXISTING 1387'-0" BRIDGE TO BE WIDENED WITH  
R.C. AND S.S. TWIN BRIDGES OVER BROAD RIVER  
FROM: STA. 272+16.00 TO STA. 286+03.00  
(ALONG ROUTE I-20)  
SEE BRIDGE PLANS FILE 40.249A.1

(CROSS SECTIONS BOUND IN SEPARATE COVER)

FILE 32.806 F.A. PROJ. IR-IRG-20-2(57) ROUTE I-20  
FROM: STA. 223+000 TO STA. 150+000  
(SEE SHEET NOS. 27 THRU 41)

EXISTING 657'-0" TO BE WIDENED WITH  
R.C. AND PRESTRESSED BEAM BRIDGE  
OVER SALUDA RIVER FROM: STA. 78+24.00  
TO STA. 84+81.00 (ALONG ROUTE I-20)  
SEE BRIDGE PLANS FILE 32.806.2

EXISTING 174'-0" BRIDGE TO BE WIDENED WITH  
R.C. AND PRESTRESSED BEAMS (TYPE III)  
OVER C.N. & L. RAILROAD FROM: STA. 91+01.00  
TO: STA. 92+75.00 (ALONG ROUTE I-20)  
SEE BRIDGE PLANS FILE 32.806.1

LAYOUT

SCALE 1 INCH = 520 FEET  
FILE 32.806 LEXINGTON COUNTY  
FILE 40.249A RICHLAND COUNTY

NET LENGTH OF ROADWAY	3.670	3.813	MILES
NET LENGTH OF BRIDGES	0.157	0.361	MILES
NET LENGTH OF PROJECT	3.827	4.174	MILES
LENGTH OF EXCEPTIONS	—	—	MILES
GROSS LENGTH OF PROJECT	3.827	4.174	MILES

EQUALITIES IN STATING

STA. 219+56.9 BACK = STA. 226+30 A.D. -673.1' (FILE 40.249A)  
STA. 357+44.5 BACK = STA. 357+35.5 A.D. +9.0' (FILE 40.249A)  
-664.1'

NOTE: ALL WORKMANSHIP AND MATERIAL ON THIS PROJECT TO  
CONFORM WITH SOUTH CAROLINA STATE HIGHWAY DEPARTMENT  
STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION EDITION  
OF

TRAFFIC DATA

1988 ADT 53,200

2008 ADT 85,200

TRUCKS 10 %

LEGEND

PROPOSED PROJECT  
OTHER ROADS

PAV  
ER

APPROVED FOR	DATE
MAYOR	
COUNCILMEN	
CLERK	

RECOMMENDED BY:	DATE
Robert White	5-1-87
PROJECT DEVELOPMENT ENGINEER	
SUBMITTED BY:	DATE
Chas. E. Moore	5-5-87
ROAD ENGINEER - DESIGN	
APPROVED BY:	DATE
Chas. E. Moore	5-5-87
STATE HIGHWAY ENGINEER	

DEPARTMENT FEDERAL APPROVAL	TRANSPORTATION ADMINISTRATION DATE
-----------------------------------	--

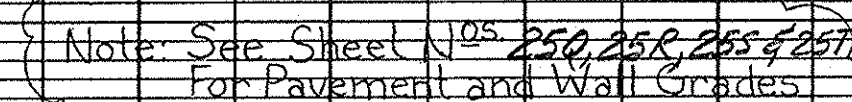
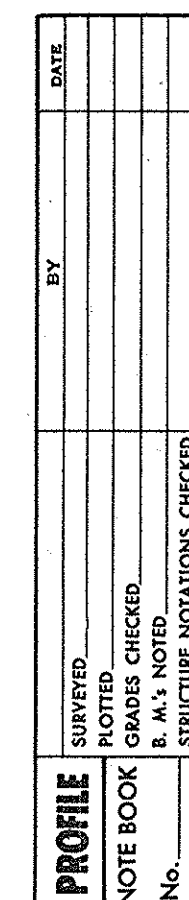
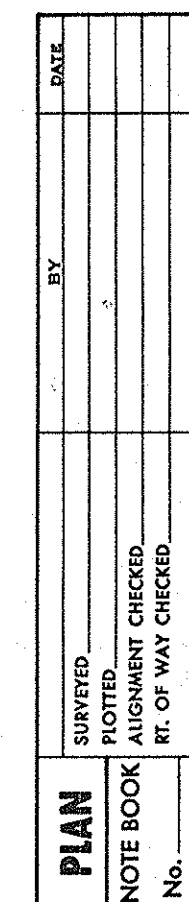
3 DAYS BEFORE DIGGING IN  
SOUTH CAROLINA  
CALL 1-800-922-0983  
PALMETTO UTILITY LOCATION SERVICE

CONVENTIONAL SIGNS

State Line	--- --	Power Poles	--- --
County Line	--- --	Telephone or Telegraph Pole	--- --
City or Town Limits	--- --	Marsh	--- --
Property Line	--- --	Trees	--- --
Fence	--- --	Brush	--- --
Retaining Wall	--- --	Stumps	--- --
Existing Road	--- --	Buildings	--- --
and R.O.W. Lines of Proposed Road	--- --	Bridge	--- --
Railroad	--- --	Concrete Box Culvert	--- --
Leaves or Embankment	--- --	Pipe Culvert	--- --
Guard Rail	--- --	Drop Inlet and Culvert	--- --
Point of Intersection (P.I.)	--- --	Hub on Center Line	--- --



FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40-249A	IR-IRG- 20-E(57)	I-20	47	28

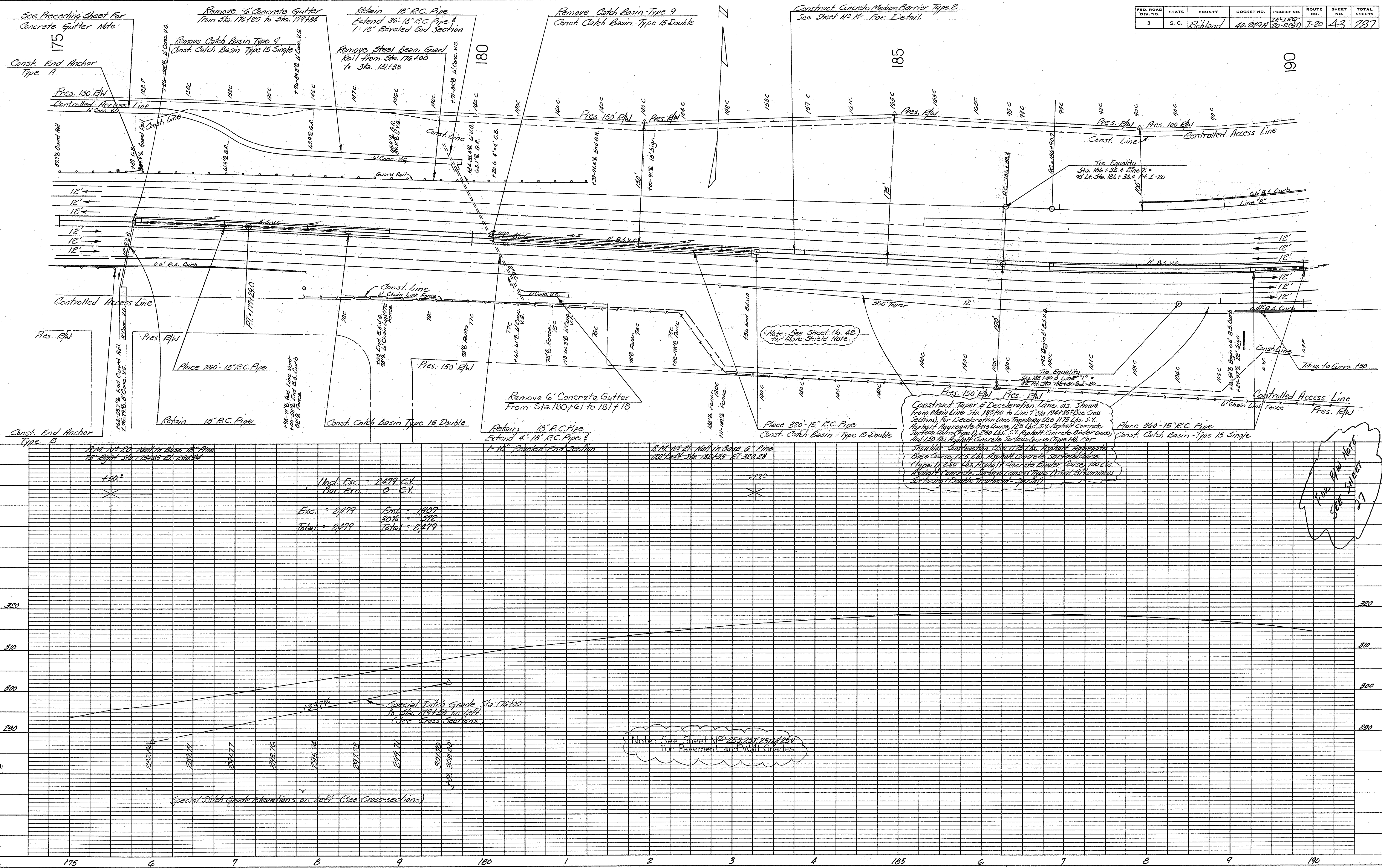




FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40-289A (20-267)	18-188	I-20	43	187

PLAN	DATE
SURVEYED BY	
NOTE BOOK	
GRADES CHECKED	
STRUCTURE NOTATIONS CHECKED	
BY	
DATE	

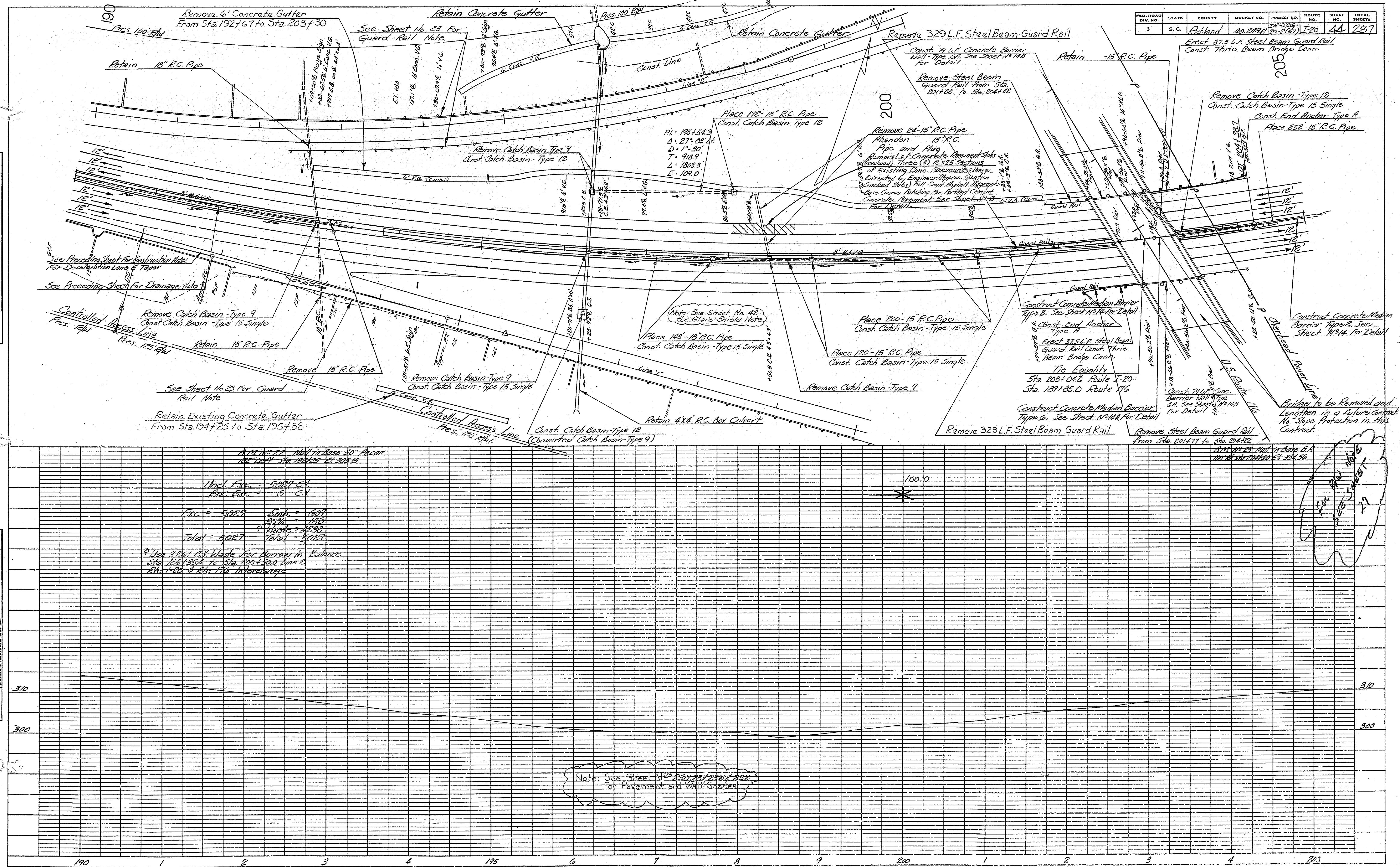
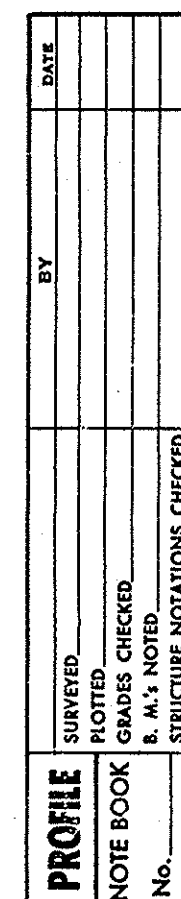
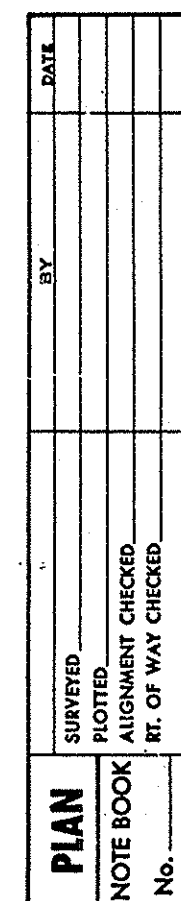
PROFILE	DATE
SURVEYED BY	
NOTE BOOK	
GRADES CHECKED	
STRUCTURE NOTATIONS CHECKED	
BY	
DATE	



Richland Co.  
Route I-20  
Sheet 13 of 51



FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40-249A	TR-185 20-2(57)	I-20	44	287



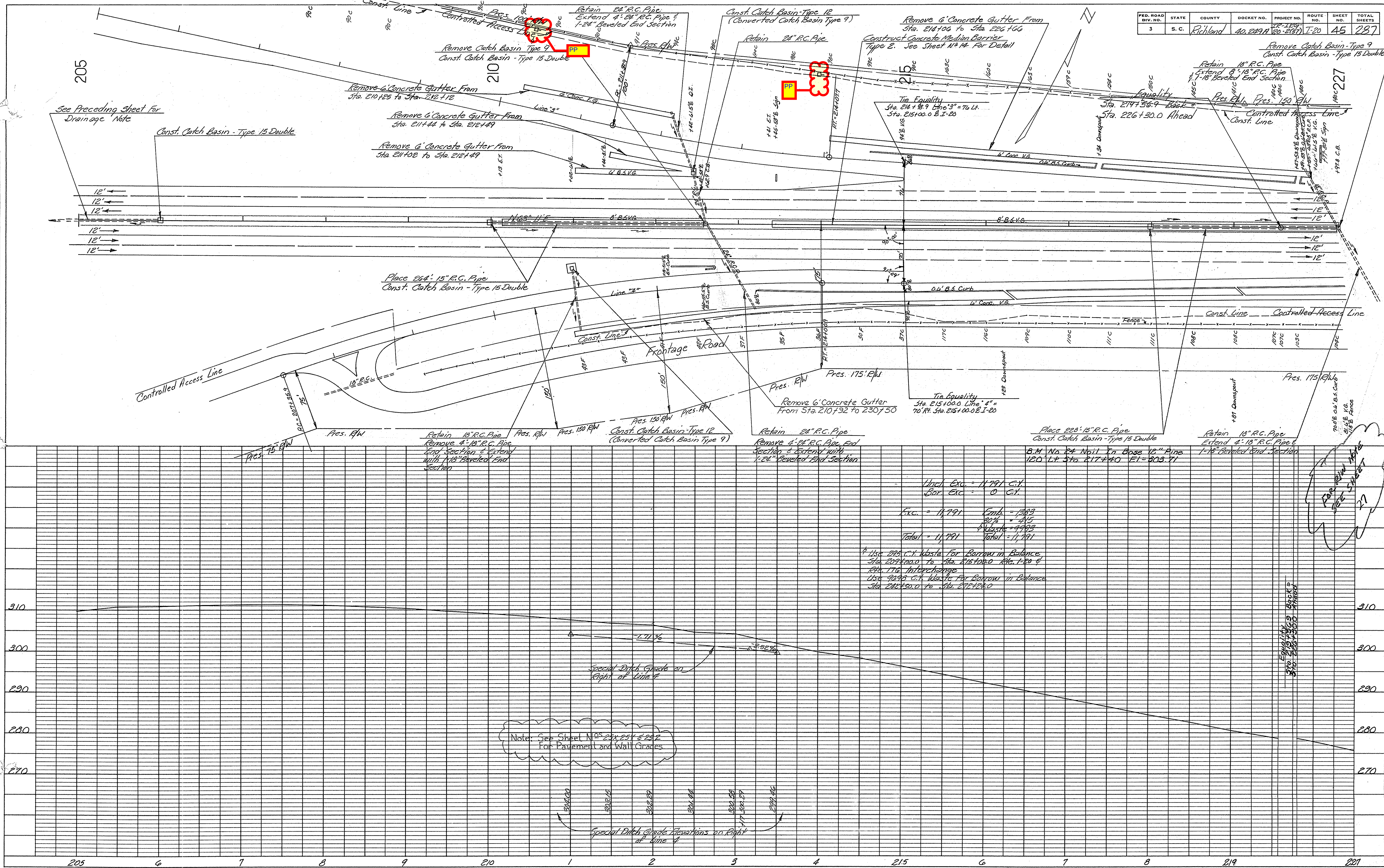
Richland Co.  
Route I-20  
Sheet 14 of 51



FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40,249A	20-2159	I-20	45	287

PLAN	DATE
BY	
NOTED	
NOTE BOOK	
ALIGNMENT CHECKED	
RT. OF WAY CHECKED	
No.	

PROFILE	DATE
BY	
NOTED	
NOTE BOOK	
GRADES CHECKED	
S. M. 1. NOTED	
STRUCTURE LOCATIONS CHECKED	
No.	

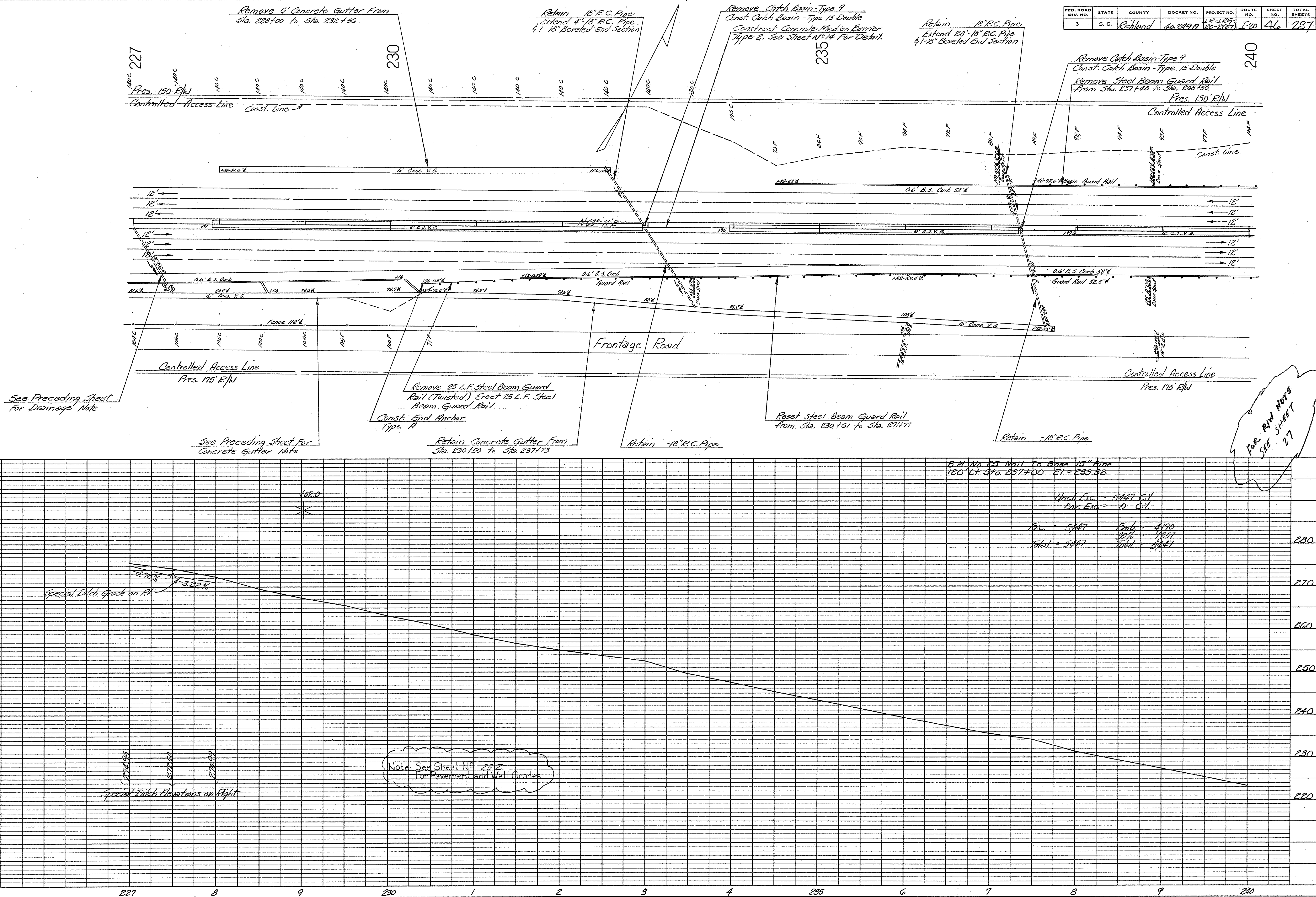


Richland Co.  
Route I-20  
Sheet 15 of 51



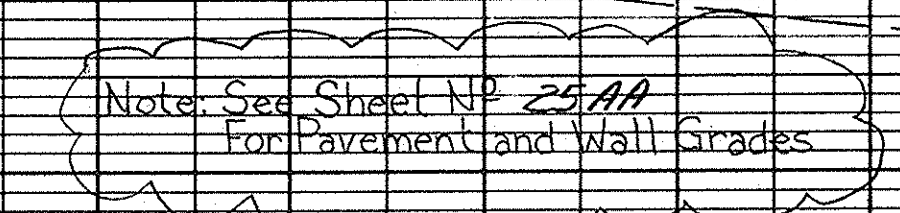
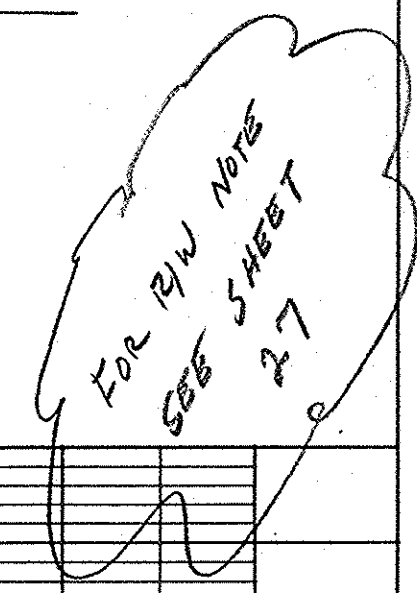
<b>PLAN</b>	BY _____	DATE _____
NOTE BOOK	SURVEYED _____	
No. _____	PIOTTED _____	
	ALIGNMENT CHECKED _____	
	RT. OF WAY CHECKED _____	

PROFILE		BY	DATE
SURVEYED _____			
PLOTTED _____			
GRADES CHECKED _____			
B. M.'s NOTED _____			
STRUCTURE NOTATIONS CHECKED _____			



Richland Co.  
Route I-20  
Sheet 16 of 51





Richland Co.  
Route I-20  
Sheet 17 of 51



FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40-24911	25-289	I-20	48	237

DATE	BY	DATE	BY

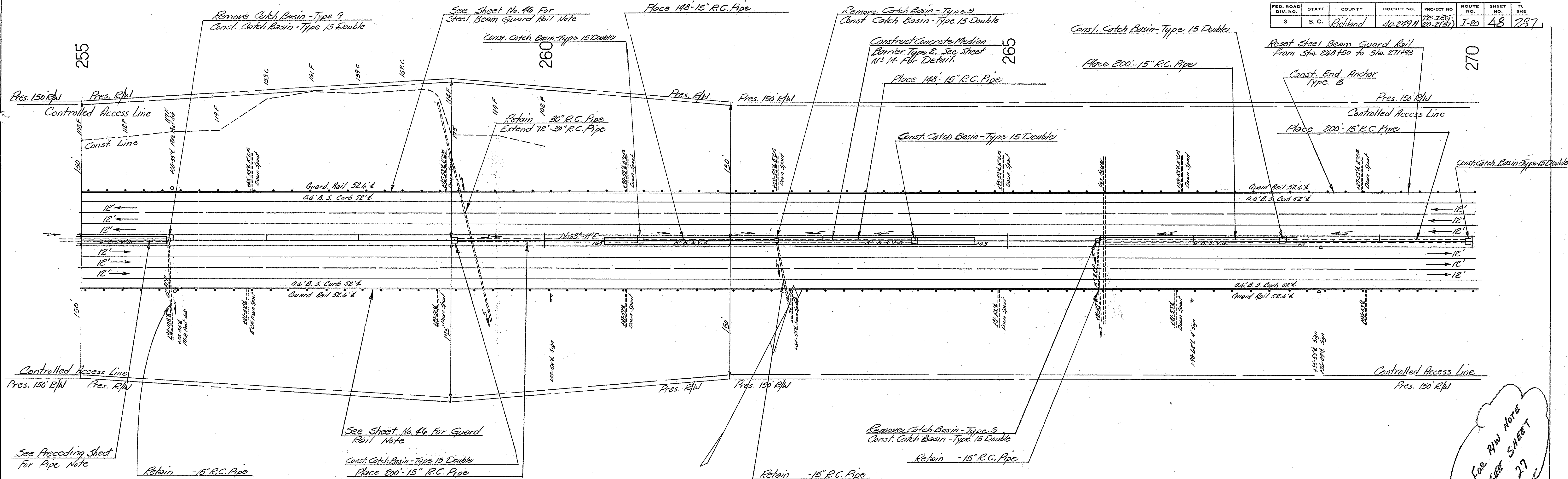
PLAN

NO. 1

NOTE BOOK

ALIGNMENT CHECKED

RT. OF WAY CHECKED



DATE	BY	DATE	BY

PROFILE

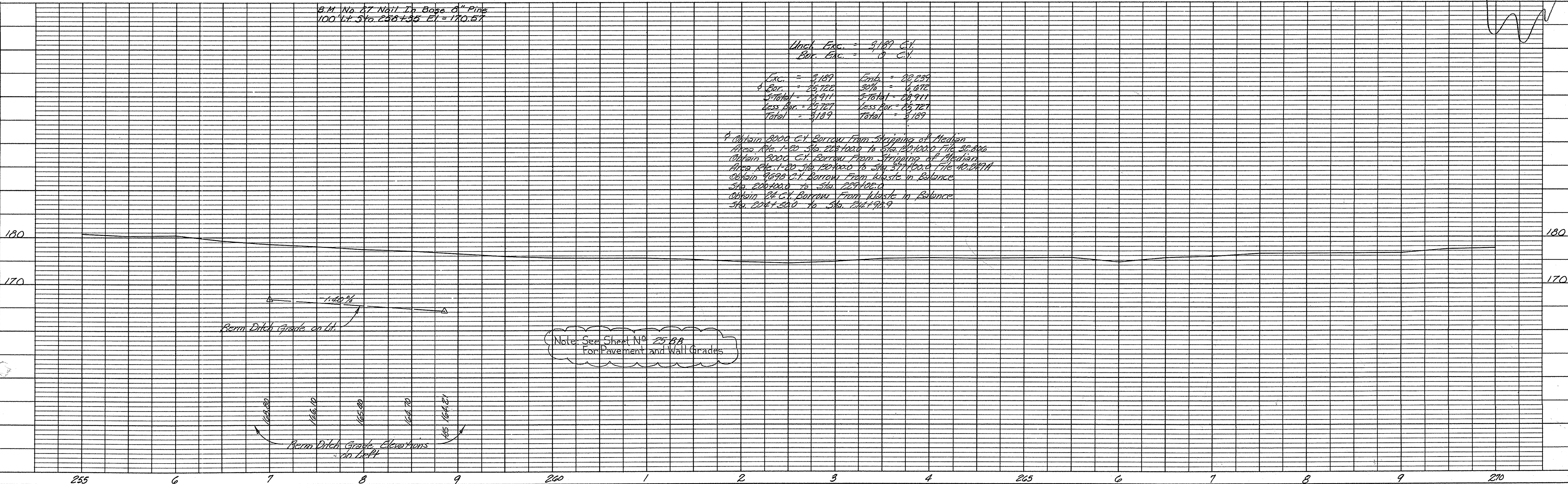
NO. 1

NOTE BOOK

GRADES CHECKED

B. M. NOTED

STRUCTURE NOTATIONS CHECKED



FOR R/W NOTE  
SEE SHEET  
27



FED. ROAD DIV. NO.	STATE	COUNTY	DOCKET NO.	PROJECT NO.	ROUTE NO.	SHEET NO.	TOTAL SHEETS
3	S. C.	Richland	40,249A	12,385-120-5(67)	I-20	49	287

PLAN	SURVEYED	DATE
	NOTED	BY
	NOTED	BY
	NOTED	BY
NOTE BOOK		
No. _____		

PROFILE	SURVEYED	DATE
	NOTED	BY
	NOTED	BY
	NOTED	BY
NOTE BOOK		
No. _____		

Construct Concrete Median Barrier Type 2. See Sheet N-14 For Detail

Remove 177 L.F. Steel Beam Guard Rail

Remove 31.25 L.F. Steel Beam Guard Rail, Const. Thrie Beam Bridge Conn.

Pres. 150' R/W  
Controlled Access Line

See Preceding Sheet For Guard Rail Note

Phase 2 END

Pres. 150' R/W

Pres. 175' R/W  
Controlled Access Line

285

275

280

RIVER

BROAD

Existing 1,987'0" Bridge To Be Widened With R.C. and S.S. Twin Bridges Over Broad River From: Sta. 272+16.00 To: Sta. 286+03.00 (Along Route I-20) See Bridge Plans File 40,249A.1

For R/W Note SEE SHEET 27

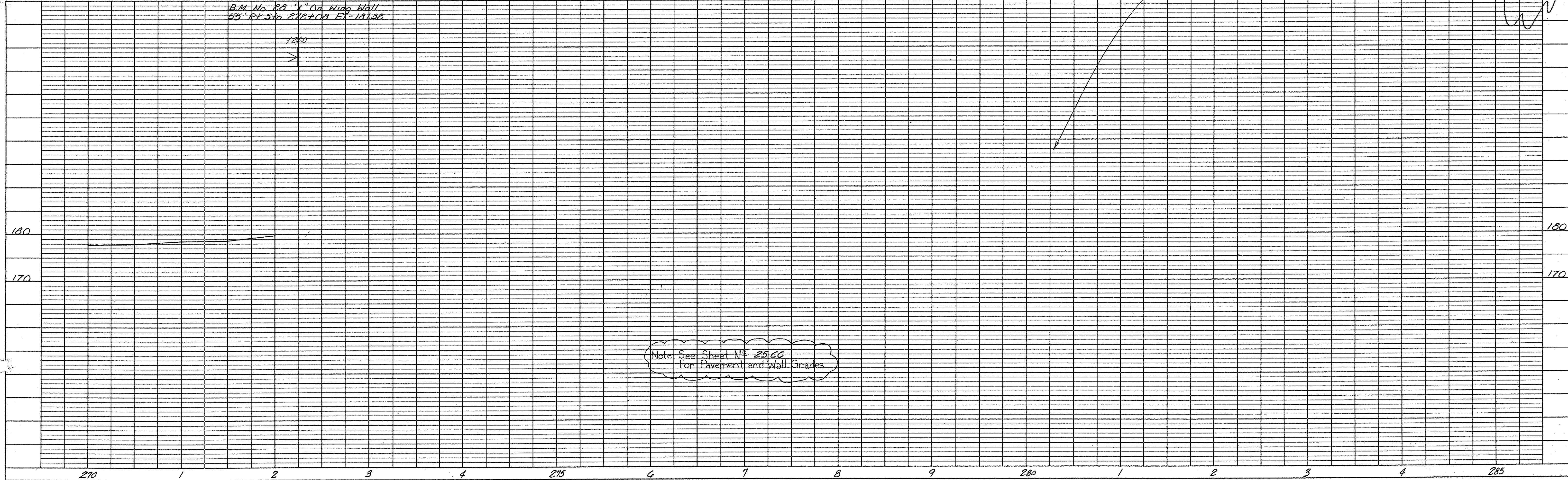
B.M. No. 20 "X" On Wing Wall  
55' RT. STA. 272+03 ET=181.32

1260

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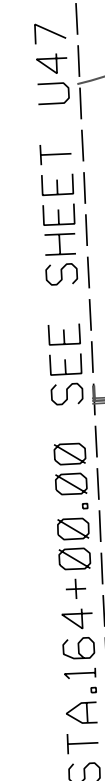
Note: See Sheet N-25 CC For Pavement and Wall Grades

Richland Co.  
Route I-20  
Sheet 19 of 51






FOR INFORMATION  
ONLY



STA. 9353+23.60 SEE SHEET U75

**HR**  **STV**

**SCDOT**  
South Carolina Department of Transportation

















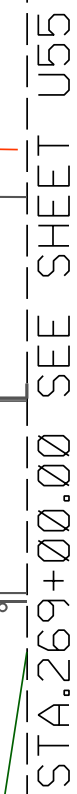
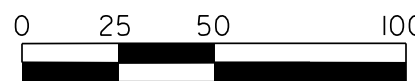








FED. RD. DIV. NO.	STATE	COUNTY	FILE NO.	ROAD/ROUTE NO.	SHEET NO.
3	S.C.	LEXINGTON/RICHLAND	P039719	1-26/1-20/1-126	BM54

PLANS PREPARED BY

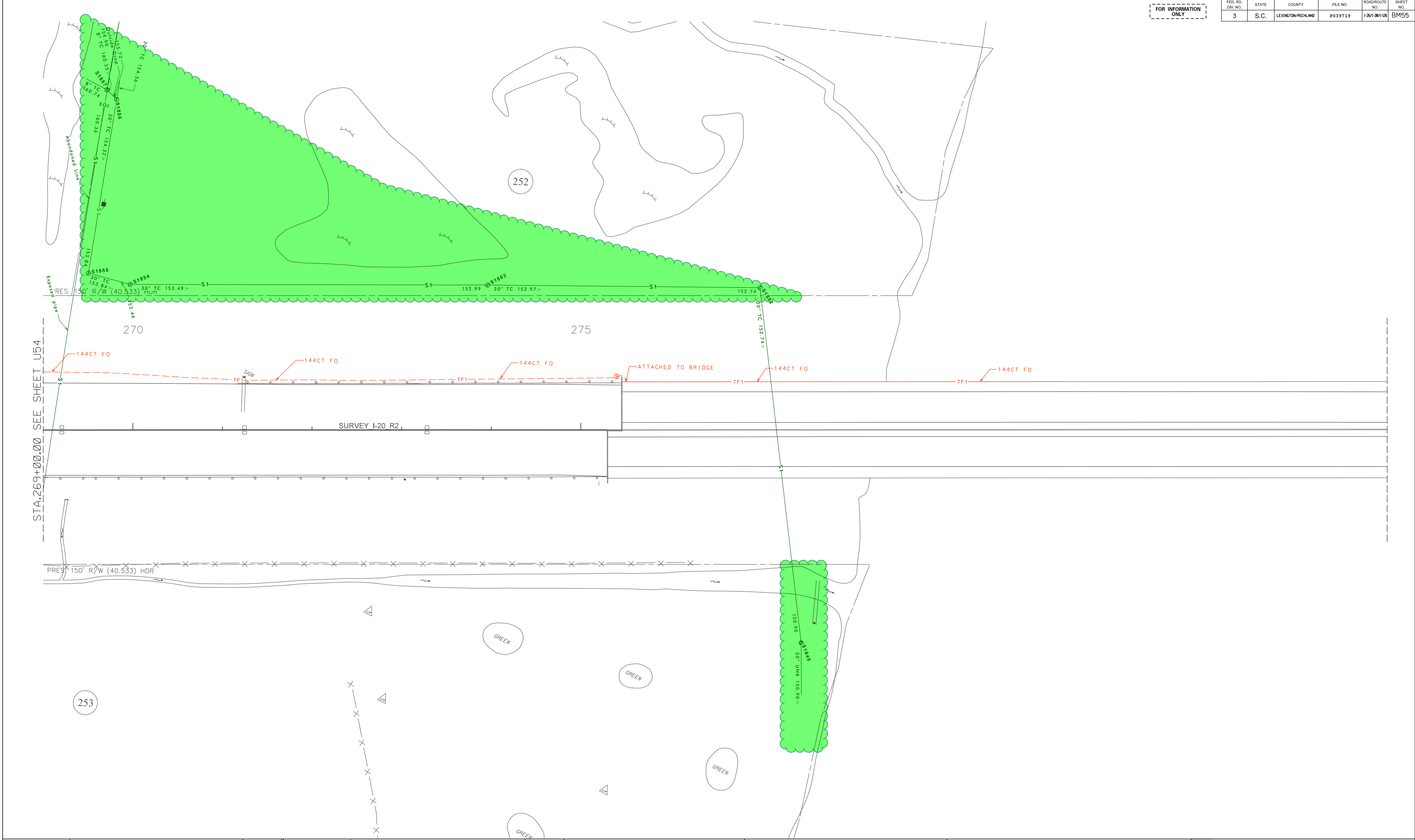
# CAROLINA CROSSROADS




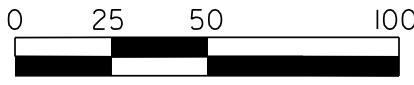
# UTILITY BASE MAP



FOR INFORMATION ONLY

FED. RD. DIV. NO.	STATE	COUNTY	FILE NO.	ROAD/ROUTE NO.	SHEET NO.
3	S.C.	LEXINGTON/RICHMOND	P039719	1-26/1-20/1-105	BM55



						PLANS PREPARED BY		PLANS PREPARED FOR		CAROLINA CROSSROADS	
						 		 South Carolina Department of Transportation		UTILITY BASE MAP	
											















PLANS PREPARED BY

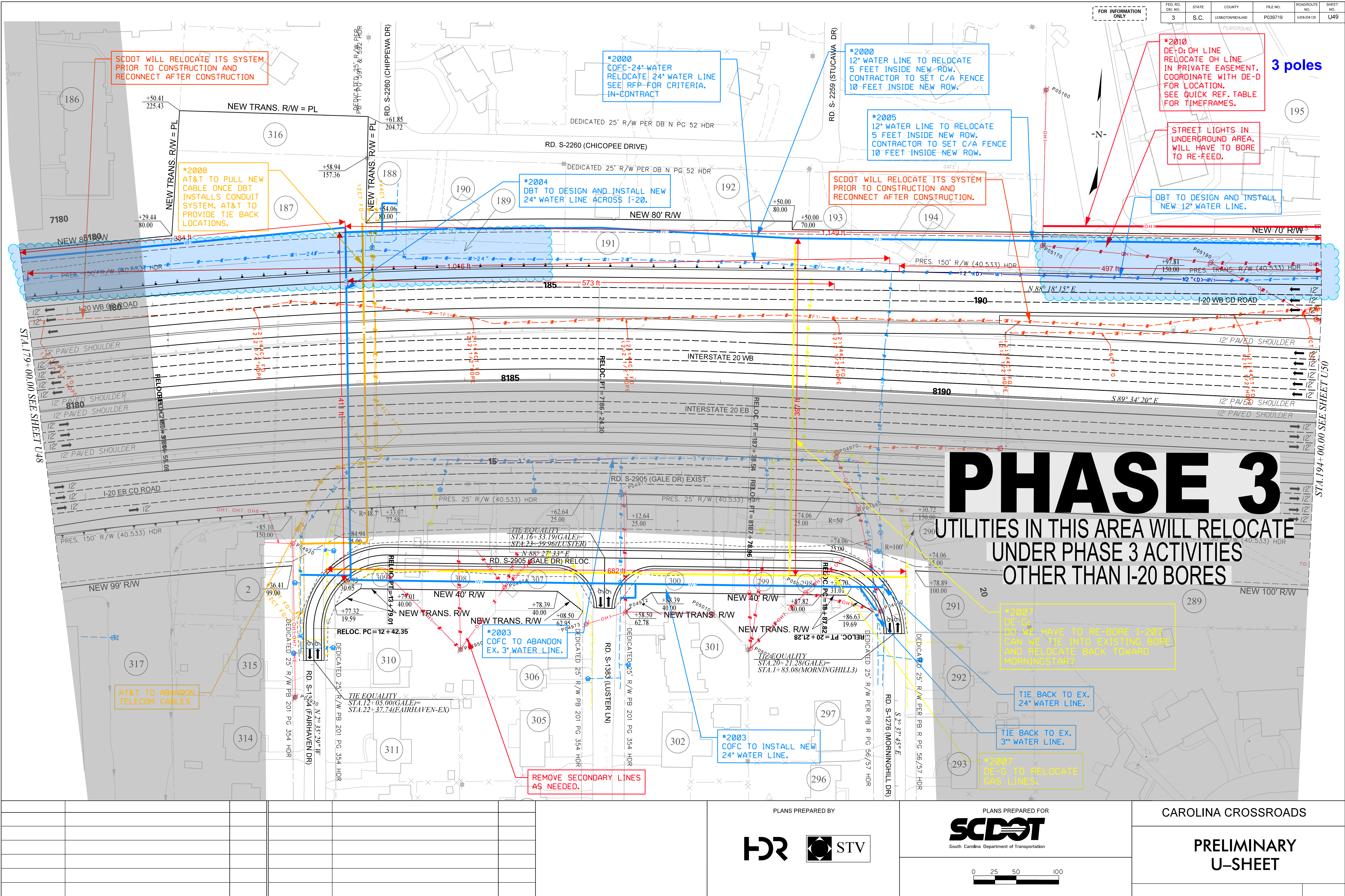
PLANS PREPARED FOR

South Carolina Department of Transportation

CAROLINA CROSSROADS

PRELIMINARY  
U-SHEET

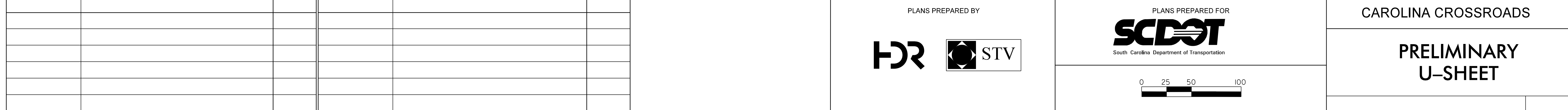




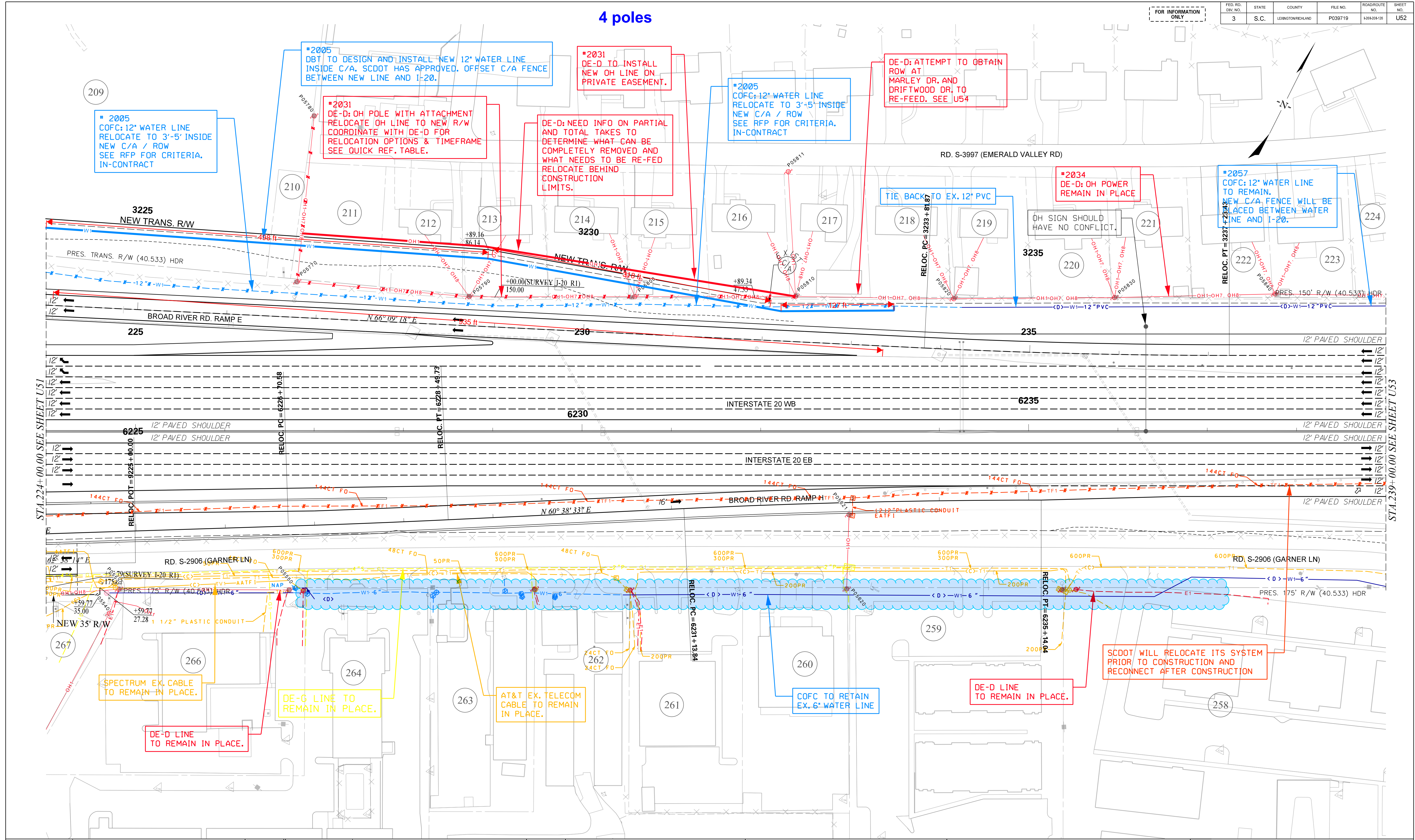






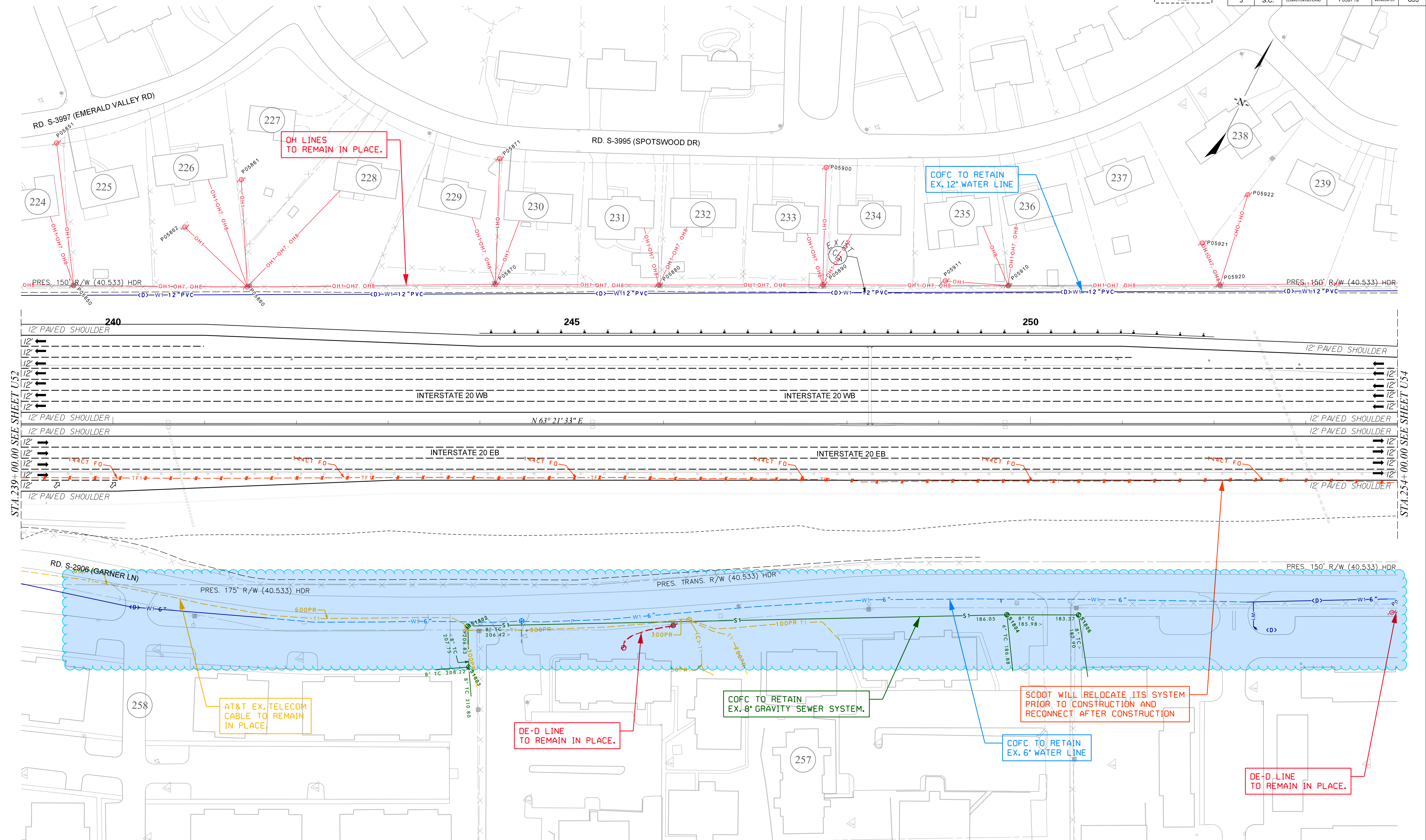








FED. RD. DIV. NO.	STATE	COUNTY	FILE NO.	ROAD/ROUTE NO.	SHEET NO.
3	S.C.	LEXINGTON/RICHLAND	P039719	I261-201-126	U53

[illegible]

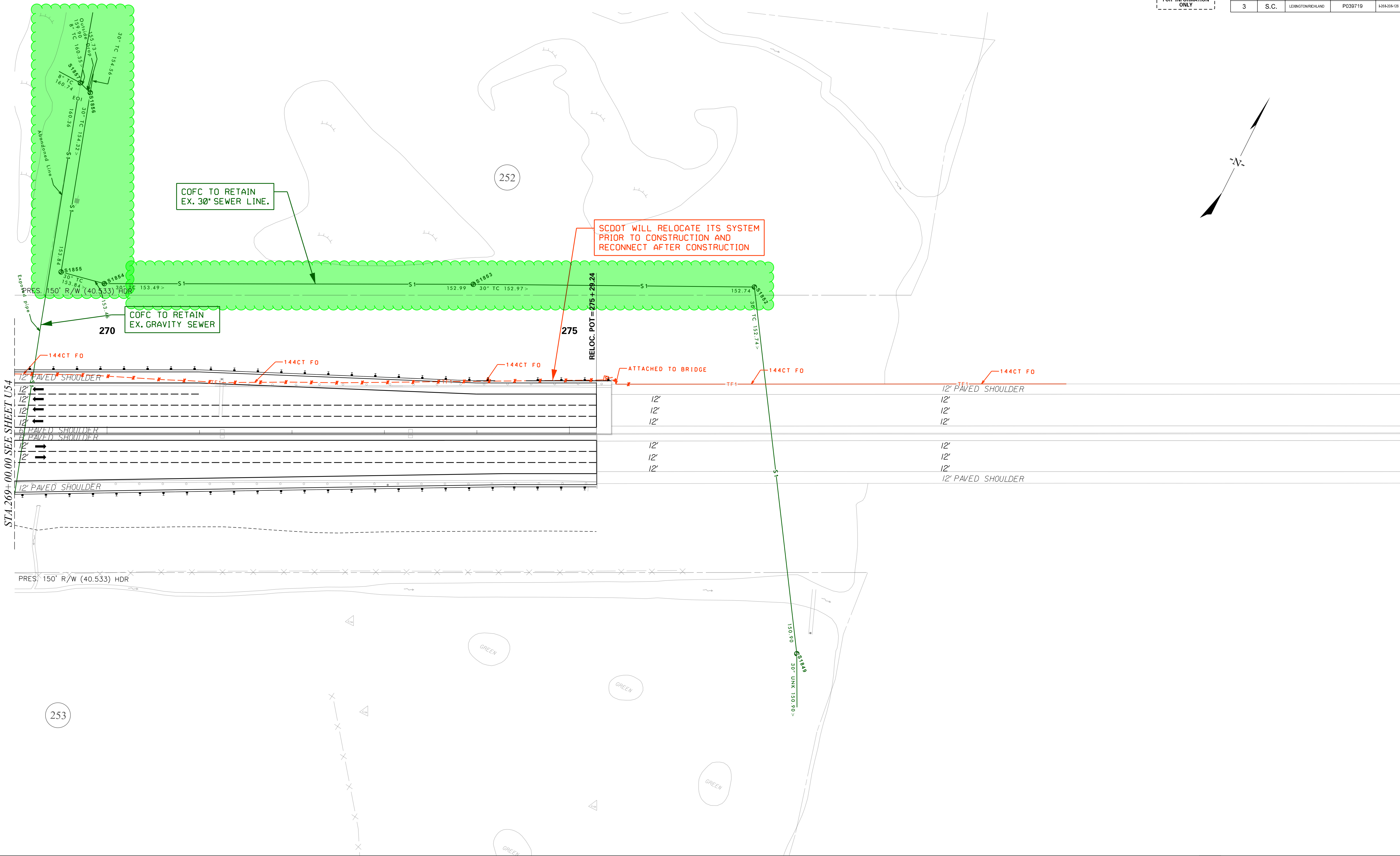
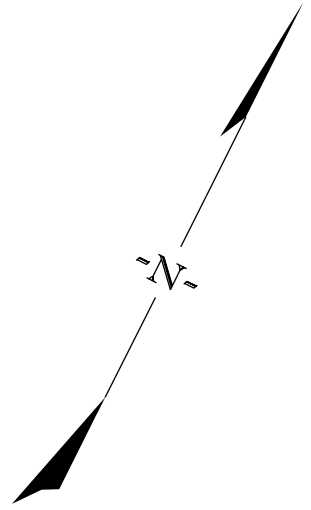






FOR INFORMATION ONLY

FED. RD. DIV. NO.	STATE	COUNTY	FILE NO.	ROAD/ROUTE NO.	SHEET NO.
3	S.C.	LEXINGTON/RICHLAND	P039719	I-26/201-120	U55



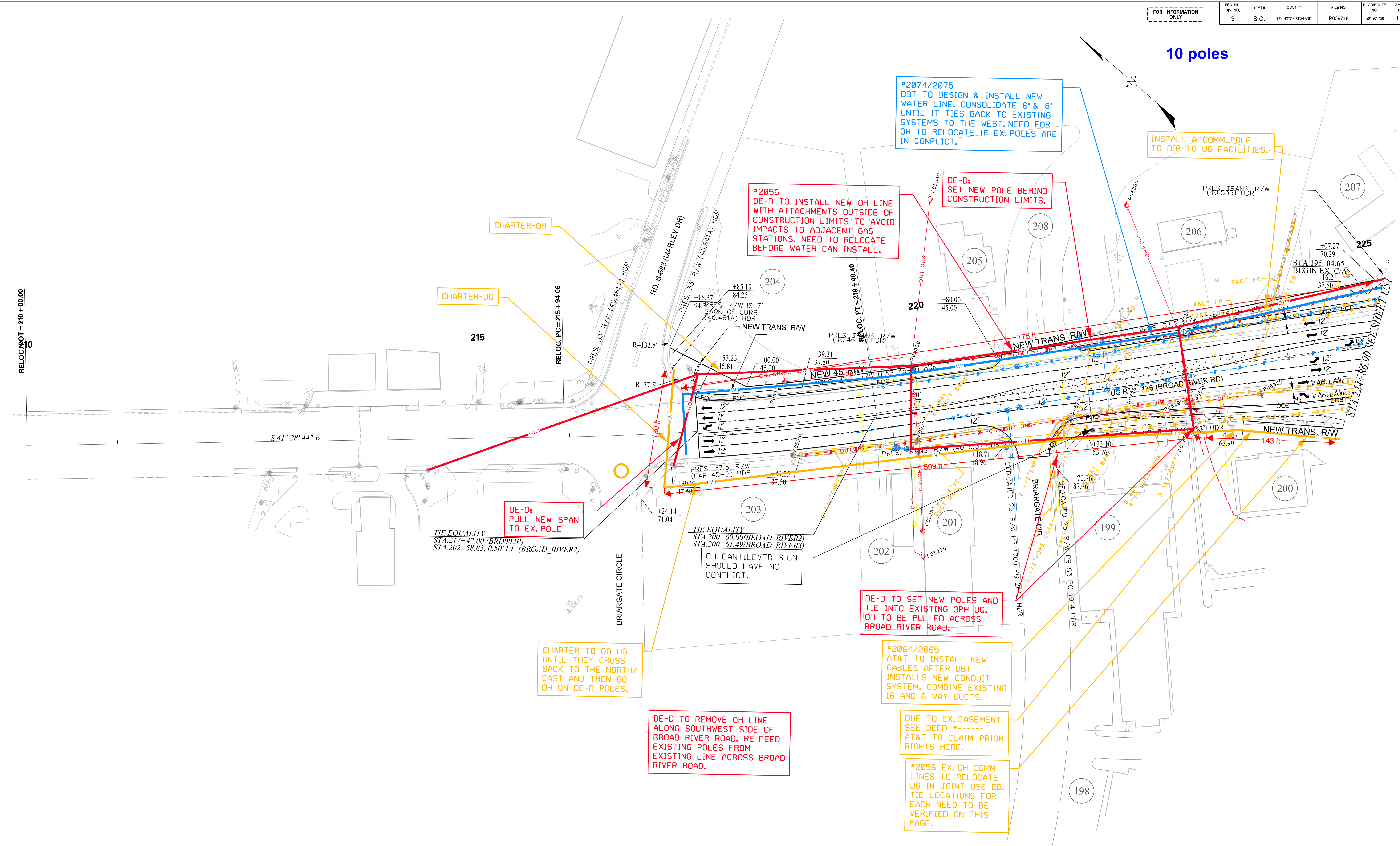
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FOR INFORMATION ONLY

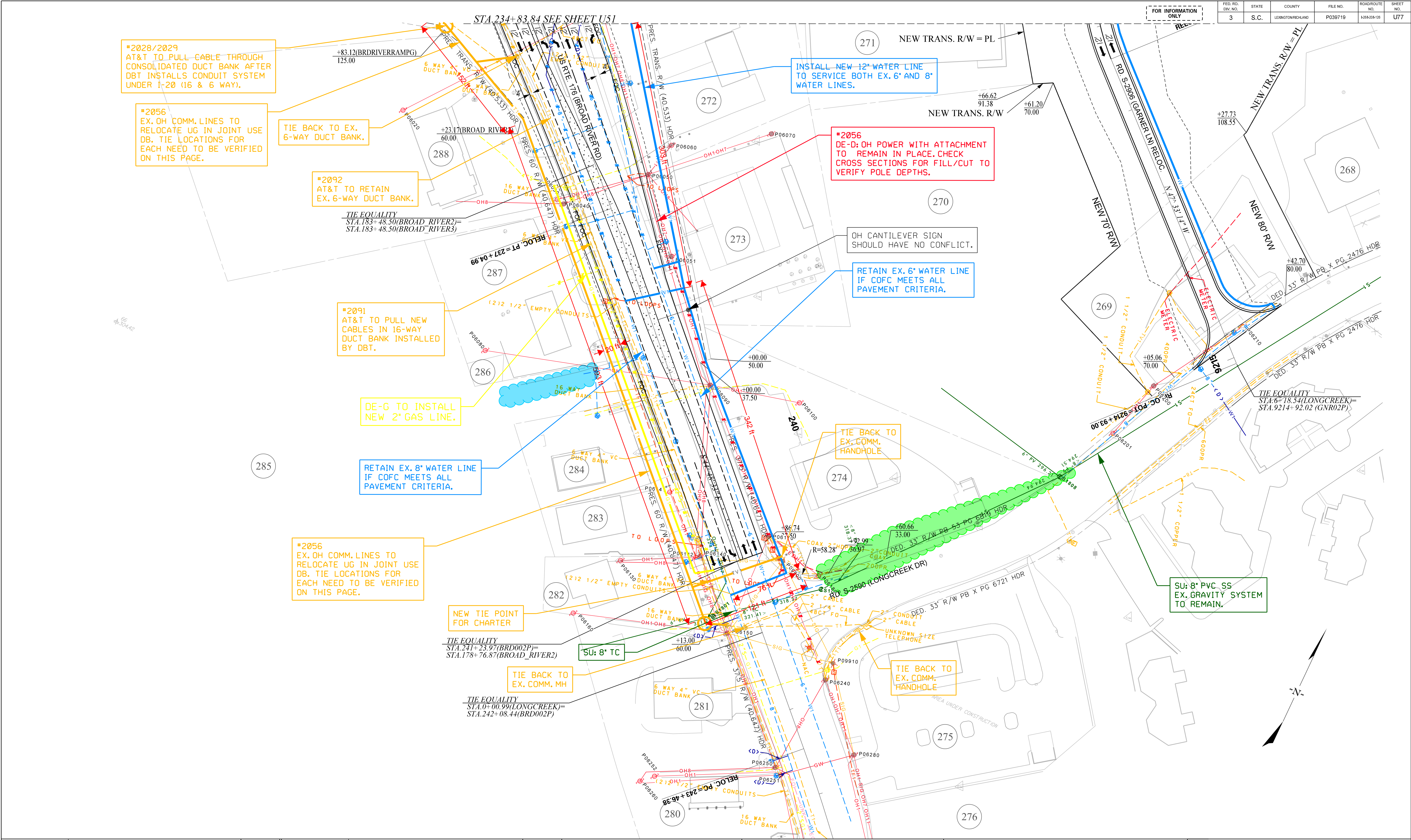
FED. RD. DIV. NO.	STATE	COUNTY	FILE NO.	ROAD/ROUTE NO.	SHEET NO.
3	S.C.	LEXINGTON/RICHLAND	P039719	125&204-125	U76

10 poles

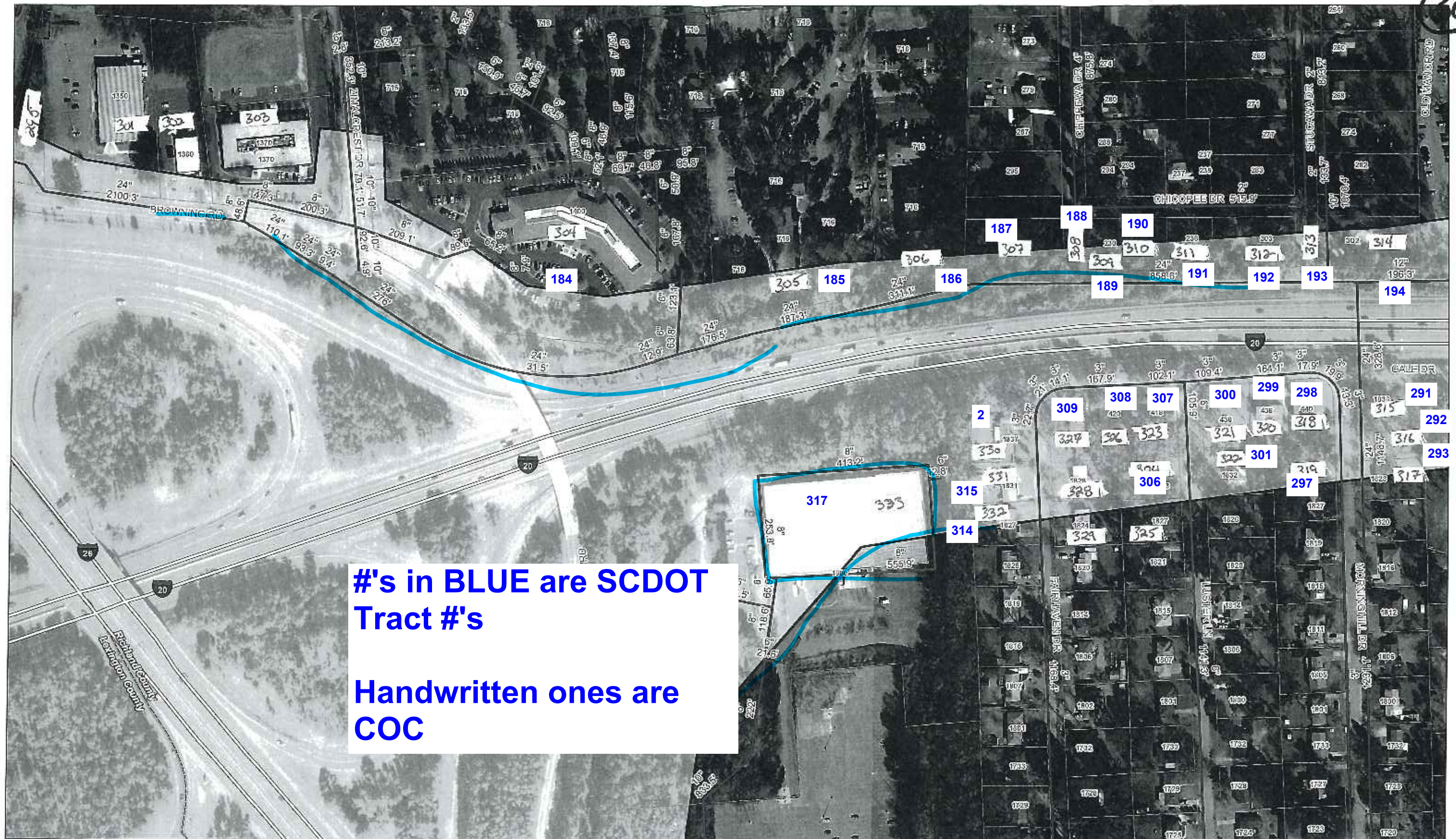


						PLANS PREPARED BY		PLANS PREPARED FOR		CAROLINA CROSSROADS	
						HDR STV		SCDOT South Carolina Department of Transportation		PRELIMINARY U-SHEET	
						0 25 50 100					

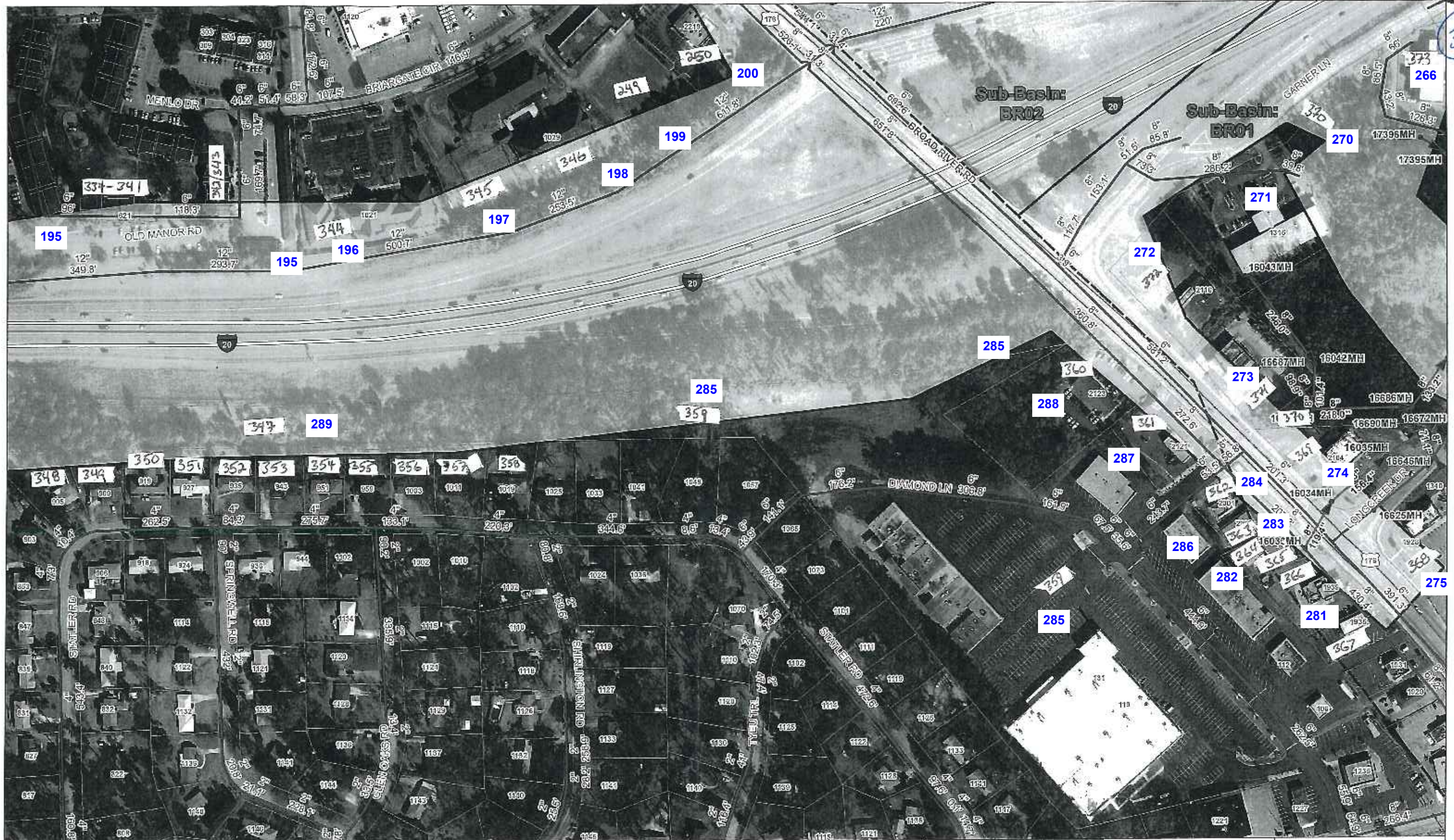










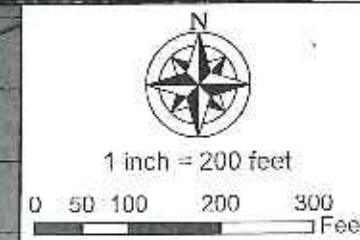


Clean Water 2020  
City of Columbia, South Carolina

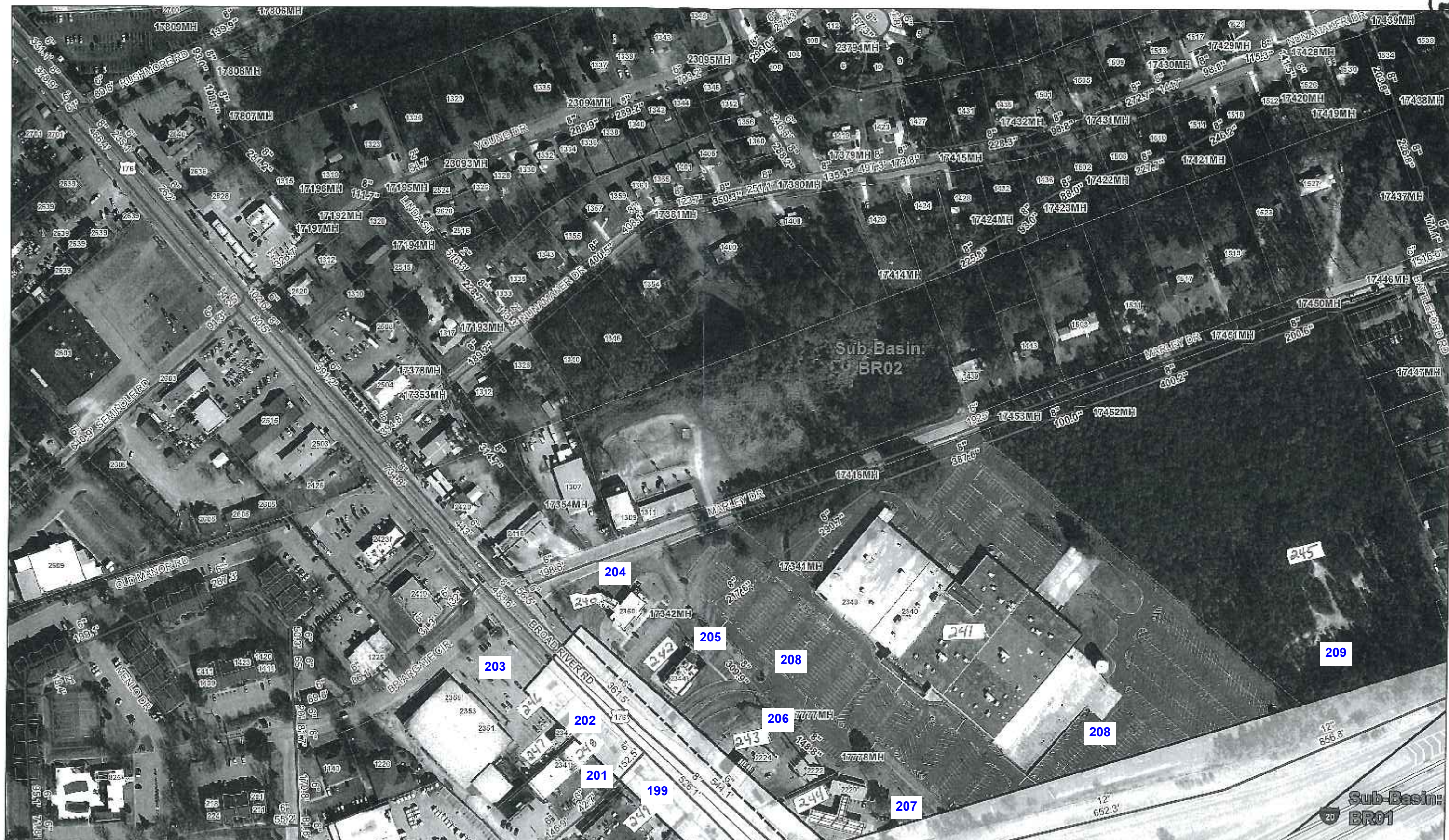


- Sewer Clean Outs
- Sewer Manholes
- Tax Parcel w/ Address #
- Water Mains
- Sewer Force Mains
- Sewer Gravity Mains
- Major Sewer Gravity Mains

CITY OF COLUMBIA, S.C.  
DEPARTMENT OF UTILITIES & ENGINEERING  
THE ATTACHED MAP(S) AND/OR PLAN(S) IS THE PRODUCT OF COMPILATION, OR WAS PRODUCED BY OTHERS. IT IS PROVIDED FOR INFORMATION ONLY AND THE CITY OF COLUMBIA MAKES NO REPRESENTATIONS AS TO ITS ACCURACY. ITS USE WITHOUT FIELD VERIFICATION IS AT THE SOLE RISK OF THE USER.







Clean Water 2020  
 Building the Clean Water for Our Future



We Are Columbia

-  Sewer Clean Outs
  Water Mains  
 Sewer Manholes
  Sewer Force Mains  
 Tax Parcel  
 w/ Address #
  Sewer Gravity Mains  
 Major Sewer Gravity Mains

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FIELD VERIFICATION IS AT THE SOLE RISK  
OF THE USER.

351	352	353
368	369	370
384	385	386



1 inch = 200 feet

0 50 100 200 300 Feet

Carolina Crossroads  
Sewer Map Book

Page 369

Prepared For: Clean Water 2525















**TRACTS WITH IMPACTS BASED ON EIS  
PLANS**



DBK 1316 PAGE 434

STATE OF SOUTH CAROLINA )

DEED TO WATER LINES FOR WACHOVIA RECORDS  
FACILITY-OPERATIONS CENTER, RICHLAND COUNTY  
TMS #6013-01-01, 02, 20 AND 24

FILED  
RECEIVED  
CLARK L. CARLITTI  
96 MAY 14 PM 2:21

333  
Sheet  
30

COUNTY OF RICHLAND )

WACHOVIA BANK OF S.C., N.A.

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, It, Wachovia Bank of S.C., N.A.,

of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all its right, title and interest in and to the below described water lines:

All those certain water lines, the same being 6", 8" and 10" in diameter including valves, valve boxes, fire hydrants, meter boxes, service lines to fire hydrants and meter boxes and all components to complete the system.

All metes, courses, bounds and measured distances described herein are approximate. The precise metes, courses, bounds and measured distances are more particularly described and shown on City File #224-20, which is incorporated herein by specific reference thereto.

A 10" water line beginning with a tie to an existing 8" City of Columbia water line, located on subject property, thirty-one and six tenths (31.6) feet northwest of a drop inlet, located twenty-eight (28) feet northwest of the northwestern side of an "Existing Two-Story Brick Building" as depicted on the herein referenced drawings, and approximately two hundred thirty (230) feet northeast of the northeastern right-of-way of Browning Road; thence extending in a westerly direction, for a distance of ninety (90) feet to a bend, located approximately one hundred twenty-six (126) feet northwest of said "Two-Story Brick Building" and approximately one hundred sixty-five (165) feet northeast of the northeastern right-of-way of Browning Road; thence turning and extending in a northerly direction, for a distance of five hundred ninety-seven (597) feet to a bend, located twelve (12) feet northwest of an existing sanitary sewer manhole #3 and approximately two hundred thirty (230) feet east of the eastern right-of-way of Browning Road; thence turning and extending in a northeasterly direction, for a distance of one hundred thirty-nine (139) feet to a bend and a 10" x 8" reducer, located seventeen and six tenths (17.6) feet northwest of an existing sanitary sewer manhole #4; thence turning and an 8" water line extending in a northeasterly direction, for a distance of three hundred eighty-three (383) feet to a water valve pit, located approximately thirty-five (35) feet southeast of the southwestern corner of the proposed Records Facility Building; thence terminating.

Also, a 6" water line beginning at a tee on the aforescribed 8" water line, thirty-five (35) feet southwest of the termination point of said 8" water line; thence extending in a westerly direction, for a distance of eighty-nine (89) feet to a fire hydrant; thence terminating.

Also, a 6" water line beginning at a tee on the aforescribed 8" water line, one hundred fifty-six (156) feet southwest of the termination point of said 8" water line; thence extending in an easterly direction, for a distance of forty-eight (48) feet to a fire hydrant; thence terminating.

MAY 14 25

DBK 1316 PAGE 434



TO HAVE AND TO HOLD the said property unto the City of Columbia, its successors and assigns.

And the Grantor agrees to warrant and forever defend the above granted rights against himself <sup>his successors and assigns</sup> ~~and his heirs, assigns, and all other persons lawfully claiming or claiming the same or any part thereof.~~

And It, Wachovia Bank of S.C., N.A. warrants that it is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

WITNESS his hand and seal this 10th day of May, 1996,  
WACHOVIA BANK OF S.C., N.A.

by: [Signature]

Title: Vice President  
F. MICHAEL PIERER

WITNESSES

Donna M. Chinnis  
Brian Amick

STATE OF SOUTH CAROLINA )

COUNTY OF RICHLAND )

PERSONALLY APPEARED before me Donna Chinnis and made oath that he saw the within named Wachovia Bank of S.C., N.A. sign, seal and as its act and deed deliver the written instrument for the uses and purposes therein mentioned and that he with Brian Amick witnessed the execution thereof.

Donna M. Chinnis

SWORN to before

me this 10th day of May, 1996.

[Signature] (L.S.)  
Notary Public for South Carolina

My Commission Expires July 27, 2000



The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb coaks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewer, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines and appurtenances heretofore described for the purpose of ingress, egress, operation and maintenance of said water lines. The grantor hereby agrees that no construction (including, but not limited to, buildings, paving, pipe lines or other utilities) will be allowed within the limits of this easement without prior approval of the City Engineer.

This conveyance also includes all water line easements shown on a set of record drawings prepared for Wachovia Records Facility-Operations Center, in Richland County, near Columbia, South Carolina, dated April 30, 1996, prepared for Wachovia Bank of S.C., N.A., by B.P. Barber & Associates, Inc., James A. Futter, S.C.P.E. #8367, and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference #224-20.

These water lines are more clearly delineated on a set of record drawings for Wachovia Records Facility-Operations Center, in Richland County, near Columbia, South Carolina, dated April 30, 1996, prepared for Wachovia Bank of S.C., N.A., by B.P. Barber & Associates, Inc., James A. Futter, S.C.P.E. #8367, and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference #224-20.

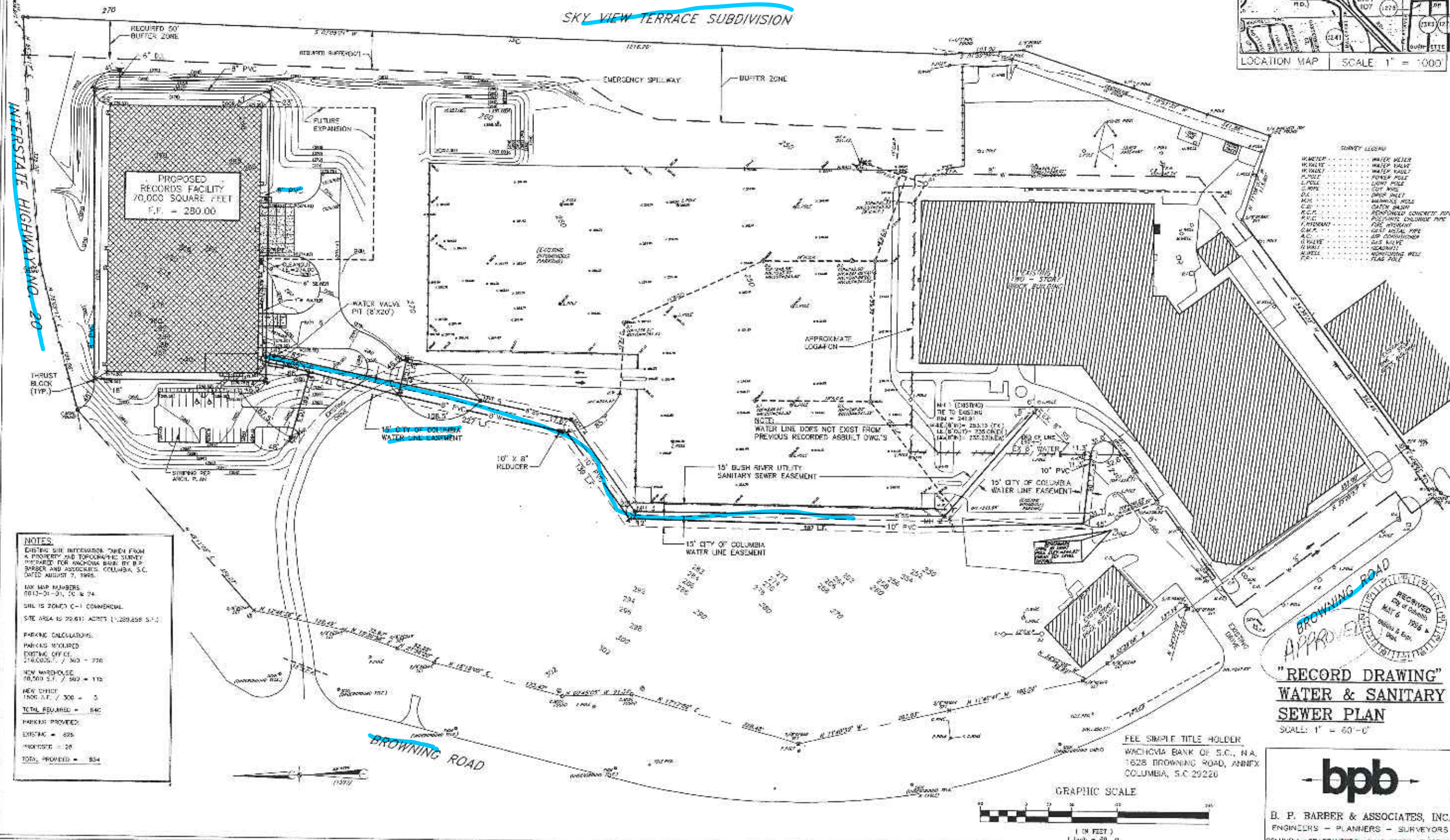


7. HEREBY CERTIFY THAT THE SANITARY SEWER SYSTEM AND THE WATER SYSTEM IN WACHOIA RECORDS FACILITY OPERATIONS CENTER AS SHOWN ON THE PLAT DATED APRIL 30, 1996 PREPARED BY D.F. BANNER AND ASSOCIATES, INC. HAS BEEN INSTALLED ACCORDING WITH THE PRELIMINARY PLAT (CONSTRUCTION DRAWINGS) APPROVED MARCH 5, 1996."

*James M. Fitter*

JAMES M. FITTER, PE SC# 8367  
REGISTERED ENGINEER, STATE OF SOUTH CAROLINA

1. ALL ELEVATIONS ARE TIED TO MEAN SEA LEVEL DATUM.
2. RICHLAND COUNTY TAX MAP NO. 6013-01-01, 20 & 24.
3. TOPOGRAPHIC AND BOUNDARY PROVIDED BY B.P. BARBER AND ASSOCIATES, COLUMBIA, S.C. DATED AUGUST 7, 1985.
4. SITE IMPROVEMENTS PLAN BY B.P. BARBER DATED DECEMBER 18, 1985.



EXISTING SITE INTERVIEW, TAKEN FROM A PROPERTY AND TOPOGRAPHIC SURVEY PREPARED FOR ANCHORAGE BASE BY B.P. BARBER AND ASSOCIATES, COLUMBIA, S.C. DATED AUGUST 7, 1965.

DOX MAP NUMBERS  
0010-21-31, 32 & 74

SITE IS ZONED C-1 COMMERCIAL

SEE AREA ID 70-61; ADJUTS 1, 289,658 S.F.

PARKING CALCULATIONS:

PARKING REQUIRED

EXISTING OFFICE  
219,000 S.F. / 300 = 730

NEW WAREHOUSE  
60,500 S.F. / 300 = 115

NEW OFFICE  
1500 S.F. / 300 = 5

TOTAL REQUIRED = 846

PARKING PROVIDED:

EXISTING = 625

PROPOSED = 28

TOTAL PROVIDED = 654

**ROSS  
& ASSOCIATES**  
ARCHITECTURE • PLANNING  
7400 IRMO DRIVE  
COLUMBIA, S.C. 29213  
TELEPHONE 803-743-3200

**WACHOVIA**  
RECORDS FACILITY  
OPERATIONS CENTER  
COLUMBIA, S.C.

**APPROVALS:** \_\_\_\_\_ **DATE:** \_\_\_\_\_

SR. OFF. \_\_\_\_\_

DIST. MGR. \_\_\_\_\_

REG. EXEC. \_\_\_\_\_

CORP. ADVS. \_\_\_\_\_

ENR. DIR. \_\_\_\_\_

CONST. MGR. \_\_\_\_\_

REG. MGR. \_\_\_\_\_



PROJECT NO.:  
25883  
DISK:  
2588301  
DRAWING NO.:  
2588301-001

DATE:  
APRIL 30, 1996  
BOUSQUET

DRAWING NO.  
C-1  
OF

"RECORD DRAWING"  
WATER & SANITARY  
SEWER PLAN

**bpb**

**E. P. BARBER & ASSOCIATES, INC.**  
ENGINEERS - PLANNERS - SURVEYORS  
COLUMBIA • SPARTANBURG • CHARLESTON • FLORENCE



No Tract#'s  
Phase 2; however  
tie pt on Browning

D 309 PAGE 957

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

EASEMENT

In consideration of the sum of One (\$1) Dollar to me in hand paid by The City of Columbia, South Carolina, receipt of which is hereby acknowledged,

I, Margaret B. Hudson

do does hereby grant unto the said The City of Columbia, South Carolina, its successors and assigns, an easement and right-of-way 12 feet in width, with an additional width of 28 feet for construction purposes, to construct, operate and maintain, together with the right of ingress and egress at all times for the purpose of constructing, operating and maintaining a water main and with the right to remove shrubbery, trees and other growth from the right-of-way and construction area provided that the property will be restored as nearly as practicable to its original condition upon completion of the construction and the damaged shrubbery and trees will be replaced with the same variety from nursery stock of a practical size, said easement and right-of-way to run through the property which I own, or in which I have an interest, situate, lying and being

On the north side of Interstate 26 and west of Zimacrest Drive, in the County of Richland, State of South Carolina, being referred to as Block #1, Lot #1, Tax Map Sheet #559, prepared by the Richland County Tax Assessor's Office and dated July 27, 1973.

Beginning at a point on the west right-of-way line of Zimacrest Drive and the east property line of said lot #1, block #1, TMS #559, at seven (7') feet, more or less, north of the north right-of-way line of Interstate 26, and proceeding in a generally westerly direction, parallel and adjacent to the north right-of-way line of Interstate 26, for a distance of three hundred ten (310') feet, more or less, to intersect the east property line of lot #2, block #1, TMS #559, seven (7') feet, more or less, north of the north right-of-way line of Interstate 26.

Also, an easement beginning on the west property line of lot #2, block #1, TMS #559, seven (7') feet, more or less, north of the north right-of-way line of Interstate 26 and proceeding in a generally westerly direction, parallel and adjacent to the north right-of-way line of Interstate 26, for a distance of thirteen hundred thirty (1330') feet, more or less, to intersect the west property line of said lot #1, block #1, TMS #559, at a point seven (7') feet, more or less north of the north right-of-way line of Interstate 26.

The line along which the proposed water main will be constructed shall be as shown on a plat prepared by the Department of Engineering, City of Columbia, South Carolina, dated August 1, 1973, and being on file in the Office of the City Engineer, City of Columbia, South Carolina.

D 309 PAGE 957

CF# 58-30



D 309 PAGE 958

Lot #1, Block #1, Tax Map Sheet #559

AS FURTHER CONSIDERATION for this easement, The City of Columbia agrees to provide ~~eight 2" meters with necessary taps for the above described property on the 10" main on Zimmlerest Drive without fee,~~ provided, however, that The City of Columbia will not install any pipe from the meters at the property line to the building served and does not waive any of the usual rules, regulations, inspection fees, or the monthly service charge normally required by the City, and it is understood and agreed that unless application for these free connections is made within a period of ~~seven~~ (7) years from the date of this instrument, this provision is null and void and the applicant must pay the prevailing fee for connection to the main line.

D 309 PAGE 958



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the grantor(s) agree(s) to warrant and forever defend the above herself her granted rights against ~~himself~~ or ~~his~~ heirs and against any other person lawfully claiming or to claim the same or any part thereof.

IN WITNESS WHEREOF, she has ~~made~~ hereunto set her hands and seals this 15<sup>th</sup> day of March, in the year of our Lord, One Thousand Nine Hundred and Seventy four.

Witnesses:

[Signature]  
Witness #1

Margaret B. Hudson  
Margaret B. Hudson

Miriam L. Hedges  
Witness #2

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me Miriam L. Hedges and made oath  
Witness #2  
that she saw the within-named Margaret B. Hudson  
sign, seal and as her act and deed deliver the within written instrument for the  
uses and purposes therein mentioned and that she with [Signature]  
Witness #1  
witnesses the execution thereof.

SWORN to before me this 15<sup>th</sup>  
day of March, 1974.

Miriam L. Hedges  
Witness #1

[Signature] (L.S.)  
Notary Public for South Carolina  
My Commission Expires May 27, 1980

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

RENUNCIATION OF DOWER  
NOT NECESSARY

I, \_\_\_\_\_, a Notary Public for South Carolina,  
do certify unto all whom it may concern, that Mrs. \_\_\_\_\_,  
wife of the within-named \_\_\_\_\_ did this day appear before  
me, and upon being privately and separately examined by me, did declare that she  
does freely, voluntarily, and without any compulsion, dread, or fear of any person  
or persons whomsoever renounce, release and forever relinquish unto the within-named,  
The City of Columbia, its successors and assigns, all her interest and estate, and  
also all her right and claim of Dower, of, in, or to all and singular the



2.2

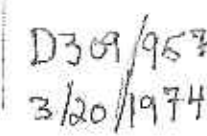
(295)

301

302

(303)

Sheet 30



56-30



Ph 3

D 309 PAGE 957

303  
Sheet 29  
Sheet 30STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

EASEMENT

In consideration of the sum of One (\$1) Dollar to me in hand paid by The City of Columbia, South Carolina, receipt of which is hereby acknowledged,

I, Margaret B. Hudson  
do does hereby grant unto the said The City of Columbia, South Carolina, its successors and assigns, an easement and right-of-way 12 feet in width, with an additional width of 28 feet for construction purposes, to construct, operate and maintain, together with the right of ingress and egress at all times for the purpose of constructing, operating and maintaining a water main and with the right to remove shrubbery, trees and other growth from the right-of-way and construction area provided that the property will be restored as nearly practicable to its original condition upon completion of the construction and the damaged shrubbery and trees will be replaced with the same variety from nursery stock of a practical size, said easement and right-of-way to run through the property which I own or in which I has have an interest, situate, lying and being

On the north side of Interstate 26 and west of Zimacrest Drive, in the County of Richland, State of South Carolina, being referred to as Block #1, Lot #1, Tax Map Sheet #559, prepared by the Richland County Tax Assessor's Office and dated July 27, 1973.

Beginning at a point on the west right-of-way line of Zimacrest Drive and the east property line of said lot #1, block #1, TMS #559, at seven (7') feet, more or less, north of the north right-of-way line of Interstate 26, and proceeding in a generally westerly direction, parallel and adjacent to the north right-of-way line of Interstate 26, for a distance of three hundred ten (310') feet, more or less, to intersect the east property line of lot #2, block #1, TMS #559, seven (7') feet, more or less, north of the north right-of-way line of Interstate 26.

Also, an easement beginning on the west property line of lot #2, block #1, TMS #559, seven (7') feet, more or less, north of the north right-of-way line of Interstate 26 and proceeding in a generally westerly direction, parallel and adjacent to the north right-of-way line of Interstate 26, for a distance of thirteen hundred thirty (1330') feet, more or less, to intersect the west property line of said lot #1, block #1, TMS #559, at a point seven (7') feet, more or less north of the north right-of-way line of Interstate 26.

The line along which the proposed water main will be constructed shall be as shown on a plat prepared by the Department of Engineering, City of Columbia, South Carolina, dated August 1, 1973, and being on file in the Office of the City Engineer, City of Columbia, South Carolina.

D 309 PAGE 957

RF# 56-30



D 309 PAGE 958

Lot #1, Block #1, Tax Map Sheet #559

AS FURTHER CONSIDERATION for this easement, The City of Columbia agrees to provide eight 2" meters with necessary taps for the above described property on the 10" main on Zimacrest Drive without fee, provided, however, that the City of Columbia will not install any pipe from the meters at the property line to the building served and does not waive any of the usual rules, regulations, inspection fees, or the monthly service charge normally required by the City, and it is understood and agreed that unless application for these free connections is made within a period of ~~seven~~ (7) years from the date of this instrument, this provision is null and void and the applicant must pay the prevailing fee for connection to the main line.

D 309 PAGE 958



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the grantor(s) agree(s) to warrant and forever defend the above herself her granted rights against ~~himself~~ or ~~his~~ heirs and against any other person lawfully claiming or to claim the same or any part thereof.

IN WITNESS WHEREOF, she has ~~here~~ hereunto set her hands and seals this 15<sup>th</sup> day of March, in the year of our Lord, One Thousand Nine Hundred and Seventy four.

Witnesses:

M. L. L. L. L.  
Witness #1

Margaret B. Hudson  
Margaret B. Hudson

William L. Hedges  
Witness #2

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me William L. Hedges and made oath  
Witness #1

that she saw the within-named Margaret B. Hudson  
sign, seal and as her act and deed deliver the within written instrument for the  
uses and purposes therein mentioned and that she with Charles E. Hedges  
Witness #2  
witnesses the execution thereof.

SWORN to before me this 15<sup>th</sup>  
day of March, 1974.

William L. Hedges  
Witness #1

Charles E. Hedges (L.S.)  
Notary Public for South Carolina  
My Commission Expires May 27, 1980

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

RENUNCIATION OF POWER  
NOT NECESSARY

I, \_\_\_\_\_, a Notary Public for South Carolina,  
do certify unto all whom it may concern, that Mrs. \_\_\_\_\_  
wife of the within-named \_\_\_\_\_ did this day appear before  
me, and upon being privately and separately examined by me, did declare that she  
does freely, voluntarily, and without any compulsion, dread, or fear of any person  
or persons whomsoever renounce, release and forever relinquish unto the within-named,  
The City of Columbia, its successors and assigns, all her interest and estate, and  
also all her right and claim of Dower, of, in, or to all and singular the





Sheet 30

D309/957  
3/20/1974



# 8945

STATE OF SOUTH CAROLINA )

DEED TO WATER LINES FOR CROWN  
POINTE; RICHLAND COUNTY TMS #06010-  
02-02

COUNTY OF RICHLAND )

Book 00377-2286  
Fee: \$0.00 County Tax: \$0.00 State Tax: \$0.00



2000005415 John G. Norris

304  
Sheet  
30

LAKESHORE ASSOCIATES OF CHARLESTON, LLC

TO

Ph2

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, it Lakeshore Associates of Charleston, LLC, of  
Charleston, South Carolina, does hereby bargain, sell, transfer and convey unto The  
City of Columbia, its successors or assigns, all its right, title and interest in and to the  
below described water lines:

All those certain water lines, the same being 6" and 8" in diameter including  
valves, valve boxes, fire hydrants, meter boxes, service lines to fire hydrants and meter  
boxes and all components to complete the system.

All metes, courses, bounds and measured distances described herein are  
approximate. The precise metes, courses, bounds and measured distances are more  
particularly described and shown on City File #246-25, which is incorporated herein by  
specific reference thereto.

An 8" water line beginning with a tie to an existing 16" City of Columbia water  
line located in the eastern right-of-way of Zimacrest Drive (S-40-482) approximately  
fifteen (15) feet west of the southwestern property corner of subject property; thence  
extending in an easterly direction for a distance of twenty-seven (27) feet to a bend,  
located on subject property approximately fifteen (15) feet northeast of the  
southwestern property corner of subject property; thence turning and extending in a  
southeasterly direction along subject property for a distance of one hundred fifty-eight  
(158) feet to a bend, located one hundred thirty-two (132) feet southwest of the  
westernmost corner of subject structure; thence turning and extending in a  
northeasterly direction for a distance of eighty-eight (88) feet to a bend located fifty-  
three (53) feet southwest of the westernmost corner of subject structure; thence turning  
and extending in a southeasterly direction for a distance of seventy-three (73) feet to a  
reducer, meter pit, tee and fire hydrant, located approximately twenty (20) feet  
southwest of a southwestern corner of subject structure; thence terminating.

**ALSO**, a 6" water line beginning at the aforesaid tee and fire hydrant; thence  
extending in a southeasterly direction for a distance of sixty-five (65) feet to a fire  
hydrant located approximately sixty-eight (68) feet southeast of the southwestern  
corner of subject structure; thence terminating.

The Grantor hereby agrees to be responsible for repairs of all damage to water  
lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby  
conveyed which arise out of the operation of any equipment or vehicles under control of  
the Grantor or any other party in connection with the initial installation of streets, paving,  
curbs and gutters, drainage, sewer, utility lines, final grading or improvements in  
development of property served by said lines, and the Grantor shall either effect  
necessary repairs or reimburse the City for the cost of repairs at the option of the City.



This conveyance also includes an exclusive easement on all water lines and appurtenances heretofore described for the purpose of ingress, egress, operation and maintenance of said water lines. The grantor hereby agrees that no construction (including, but not limited to, buildings, paving, pipe lines or other utilities) will be allowed within the limits of this easement without prior approval of the City Engineer.

This conveyance also includes all water line easements shown on a set of record drawings prepared for Crown Pointe, in Richland County, near the City of Columbia, South Carolina, dated December 10, 1999, prepared for Lakeshore Associates of Charleston, LLC, by Civil Engineering of Columbia, Inc., William H. Brown, S.C.P.E. #4953, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #246-25.

These water lines are more clearly delineated on a set of record drawings for Crown Pointe, in Richland County, near the City the City of Columbia, South Carolina, dated December 10, 1999, prepared for Lakeshore Associates of Charleston, LLC, by Civil Engineering of Columbia, Inc., William H. Brown, S.C.P.E. #4953, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #246-25.

LS: jb D-352



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against itself or its successors.

And it, Lakeshore Associates of Charleston, LLC, warrant that it is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 14 day of JANUARY, in the year of our Lord, Two Thousand.

WITNESSES:

LAKESHORE ASSOCIATES OF  
CHARLESTON, LLC

By: Mr. R. D. Litch

Its: Member

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF Richland )

The foregoing instrument was acknowledged before me this 14th day of January, 2000 by Marcus Durlach of Charleston, SC  
(Name of Officer and Title) (City and State)

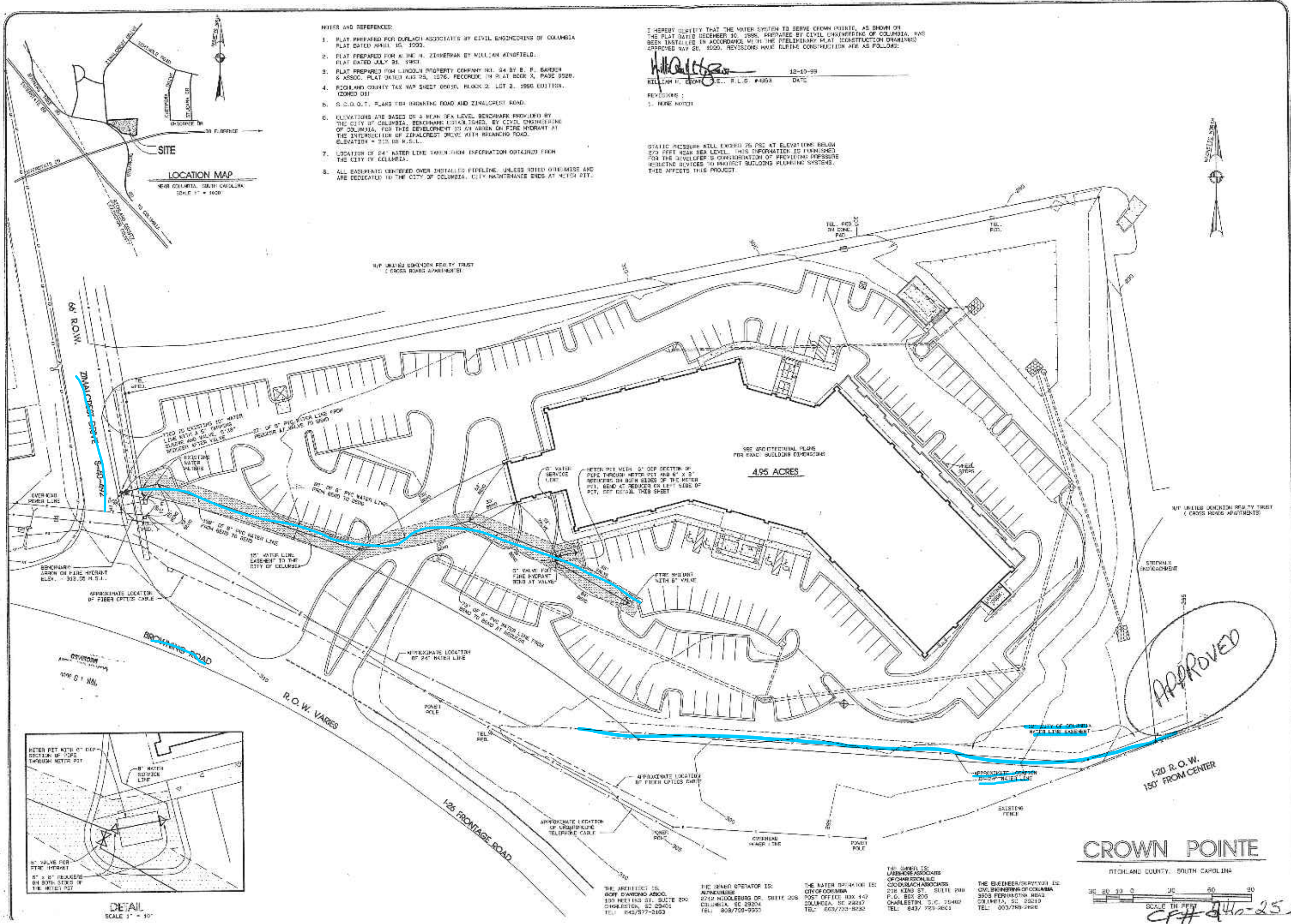
on behalf of the within-named Grantor.

Jimmy W. Snell

NOTARY PUBLIC FOR South Carolina

MY COMMISSION EXPIRES March 16, 2000





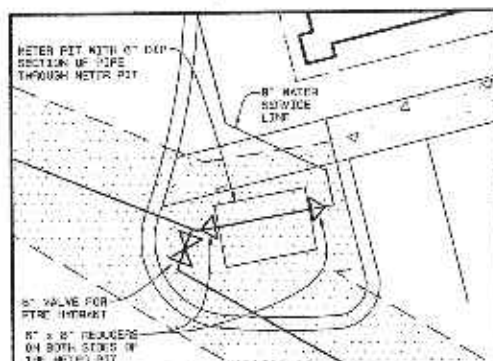
NOTES AND REFERENCES:

1. PLAT PREPARED FOR DURLACH ASSOCIATES BY CIVIL ENGINEERING OF COLUMBIA PLAT DATED APRIL 15, 1999.
2. PLAT PREPARED FOR A. L. N. ZIMMERMAN BY WILLIAM H. CROMBIE, JR. PLAT DATED JULY 31, 1993.
3. PLAT PREPARED FOR LINCOLN PROPERTY COMPANY NO. 34 BY B. F. BARDER & ASSOC. PLAT DATED AUG 25, 1976. RECORDED IN PLAT BOOK 2, PAGE 9229.
4. RICHLAND COUNTY TAX MAP SHEET 00030, BLOCK 2, LOT 2, 1996 EDITION, (ZONED O3).
5. S.D.C.O.T. PLANS FOR BROOKING ROAD AND ZINACREST ROAD.
6. ELEVATIONS ARE BASED ON A MEAN SEA LEVEL BENCHMARK PROVIDED BY THE CITY OF COLUMBIA. BENCHMARK LOCATIONS: BY CIVIL ENGINEERING OF COLUMBIA, FOR THIS DEVELOPMENT IS AN IRON ON FIRE HYDRANT AT THE INTERSECTION OF ZINACREST DRIVE WITH BROOKING ROAD. ELEVATION = 333.00 M.S.L.
7. LOCATION OF 24\"/>
8. ALL EASEMENTS CENTERED OVER INSTALLED PIPELINE, UNLESS NOTED OTHERWISE AND ARE DEDICATED TO THE CITY OF COLUMBIA. CITY MAINTENANCE ENDS AT 1254 P.D.

I HEREBY CERTIFY THAT THE WATER SYSTEM TO SERVE CROWN POINT, AS SHOWN ON THE PLAT DATED DECEMBER 30, 1999, PREPARED BY CIVIL ENGINEERING OF COLUMBIA, HAS BEEN INSTALLED IN ACCORDANCE WITH THE PRELIMINARY PLAT (CONSTRUCTION DRAWINGS) APPROVED MAY 20, 2000. REVISIONS MADE DURING CONSTRUCTION ARE AS FOLLOWS:

REVISIONS:  
1. NONE NOTED

STATIC PRESSURE WILL EXCEED 25 PSI AT ELEVATIONS BELOW 320 FEET MEAN SEA LEVEL. THIS INFORMATION IS FURNISHED FOR THE DEVELOPER'S CONSIDERATION OF PROVIDING PRESSURE REDUCING DEVICES TO PROTECT BUILDING PLUMBING SYSTEMS. THIS AFFECTS THIS PROJECT.



DETAIL  
SCALE 1" = 10'

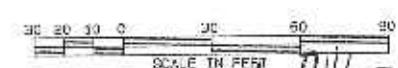
THE ARCHITECT IS:  
BOFF D'AMICO ASSOC.  
100 MEETING ST., SUITE 200  
COLUMBIA, SC 29204  
TEL: 843/777-2163

THE DESIGN OPERATOR IS:  
ALPHACORP  
2712 NICHOLLEBURG DR., SUITE 208  
COLUMBIA, SC 29204  
TEL: 803/729-9993

THE WATER OPERATOR IS:  
CITY OF COLUMBIA  
1057 OFFICE BLDG 142  
COLUMBIA, SC 29204  
TEL: 803/733-8332

THE ENGINEER/SURVEYOR IS:  
CIVIL ENGINEERING OF COLUMBIA  
3503 PERIMETER ROAD  
COLUMBIA, SC 29219  
TEL: 803/728-2820

CROWN POINT  
RICHLAND COUNTY, SOUTH CAROLINA



SCALE 1" = 30'  
DATE DEC. 13, 1999  
DRAWN C. S.  
DESIGNED H. HALL  
DRAWING NUMBER  
CFA# 9410-25

REVISION		
NO.	DATE	DESCRIPTION

WILLIAM H. CROMBIE, JR.  
LICENSED PROFESSIONAL ENGINEER  
SOUTH CAROLINA  
LICENSE NO. 10000

CIVIL ENGINEERING OF COLUMBIA  
CONSULTING ENGINEERING, SURVEYING AND PLANNING  
COLUMBIA, SOUTH CAROLINA

WATER RECORD DRAWING  
PREPARED FOR  
LAKESIDE ASSOCIATES OF CHARLESTON, LLC  
CHARLESTON, SOUTH CAROLINA

DATE DEC. 13, 1999  
DRAWN C. S.  
DESIGNED H. HALL  
DRAWING NUMBER  
CFA# 9410-25



BOOK D0813 PAGE 801

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND ) DEED TO WATER LINES FOR COLUMBIA CROSSROADS III  
ASSOCIATES

COLUMBIA CROSSROADS ASSOCIATES

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, we, Columbia Crossroads Associates

of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto  
The City of Columbia, its successors or assigns, all our right, title and  
interest in and to the below described water lines:

All those certain water lines, the same being two (2) inches and eight  
(8) inches in diameter including valves, valve boxes, fire hydrants, service  
connections from mains to meter boxes and all fittings.

Beginning with the tie into an existing ten (10) inch main, said main  
being located in the northern right-of-way of Seminole Road approximately fourteen  
and five tenths (14.5) feet north of the centerline of Seminole Road, said  
centerline having a bearing of S58°-52'-09"E, thence extending for approximately  
five hundred twenty-one and sixty-seven hundredths (521.67) feet on a bearing of  
N31°-04'-58"E, thence extending for approximately one hundred ninety-five and  
thirteen (195.13) feet on a bearing of S4°-29'-32"E, thence extending approximately  
twenty-four and zero tenths (24.0) feet on a bearing of S85°-30'-28"W, thence  
extending approximately one hundred seventy-five and five tenths (175.5) feet on a  
bearing of S4°-29'-32"E, thence extending approximately twenty and zero tenths  
(20.0) feet on a bearing of S85°-30'-28"W, thence extending approximately one  
hundred sixty-five and three tenths (165.3) feet on a bearing of S5°-32'-02"E,  
thence extending approximately ninety and five tenths (90.5) feet on a bearing of  
N85°-30'-28"W, thence extending approximately seventy-seven and eighty-four  
hundredths (77.84) feet on a bearing of S8°-01'-32"E, thence extending approximate  
one hundred thirty and ninety hundredths (130.90) feet on a bearing of S87°-55'-  
58"W, thence extending approximately one hundred forty-two and thirty-seven  
hundredths (142.37) feet on a bearing of S4°-30'-32"E, thence extending  
approximately ninety-five and forty-nine hundredths (95.49) feet on a bearing of  
S12°-45'-32"E, thence extending one hundred fifty-four and sixty-eight (154.68)  
feet on a bearing of S4°-41'-32"E, thence extending approximately one hundred  
eleven and forty-four hundredths (111.44) feet on a bearing of S28°-33'-28"W,  
whence a tie is made into an existing 24" main, said main being parallel with the  
northern right-of-way of Interstate Highway #20 and being located eight and zero  
tenths (8.0) feet north of the said right-of-way.

Also, all lines extending from the line described in the proceeding  
paragraph, to meter boxes located at Buildings #1, 2, 3, 4, 5, 6, 7, 8, 9 and 10,  
said buildings being shown on the referenced drawing.

The Grantor hereby agrees to be responsible for repairs of all damage to  
water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants  
hereby conveyed which arise out of the operation of any equipment or vehicles under  
control of the Grantor or any other party in connection with the initial  
installation of streets, paving, curbs and gutters, drainage, sewer, utility lines,  
final grading or improvements in development of property served by said lines, and  
the Grantor shall either effect necessary repairs or reimburse the City for the  
cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines  
and appurtenances heretofore described for the purpose of ingress, egress,  
operation and maintenance of said water lines. The grantor hereby agrees that no  
construction (including, but not limited to, buildings, paving, pipe lines or other  
utilities) will be allowed within the limits of this easement without prior  
approval of the City Engineer.

BOOK D0813 PAGE 801

RECORDED  
CITY OF COLUMBIA  
1986 OCT 14 PM 2 10

305  
Sheet  
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This conveyance also includes all easements shown on a set of as-built plans for Columbia Crossroads III Associates, in Richland County, near Columbia, South Carolina, plans dated July 11, 1984, prepared for Columbia Crossroads Associates, by Hucks and Associates, Inc., J. M. Glennon, P.E., and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference 91-5B.

These water lines are more clearly delineated on a set of as-built plans for Columbia Crossroads III Associates, in Richland County, near Columbia, South Carolina, plans dated July 11, 1984, prepared for Columbia Crossroads Associates, by Hucks and Associates, Inc., J. M. Glennon, P.E., and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference 91-5B.

D-5-9

TO HAVE AND TO HOLD the said property unto the City of Columbia, its successors and assigns.

And we, Columbia Crossroads Associates warrant(s) that we are the lawful owner of said property and have the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

WITNESS their hand and seal this 5<sup>th</sup> day of November 1984.

COLUMBIA CROSSROADS ASSOCIATES

TITLE:

James T. Cobb - Managing General Partner

WITNESSES

Sherry F. Brown  
[Signature]

STATE OF North CAROLINA )

COUNTY OF Mecklenburg )

PERSONALLY APPEARED before me Sherry F. Brown and made oath that he saw the within named Columbia Crossroads Associates by James T. Cobb, its Managing General Partner, sign, seal and as their act and deed deliver the within written instrument for the uses and purposes therein mentioned and that he with R. German witnessed the execution thereof.

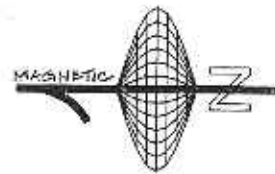
SWORN to before

me this 5<sup>th</sup> day of November, 1984.

Hilda C. Harris (Cline) (L.S.)  
Notary Public for North Carolina

My Commission Expires 2-10-89





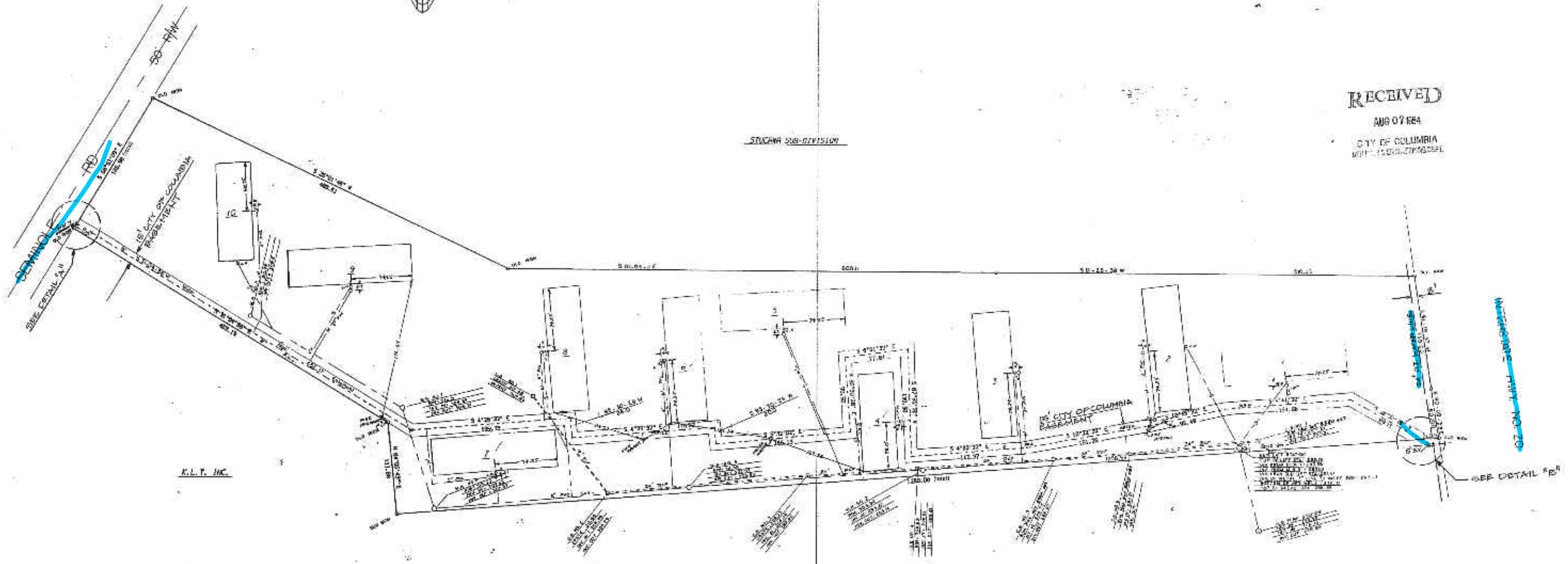
SCALE: 1"=1000'

RECEIVED

AUG 07 1984

CITY OF COLUMBIA  
WATER & SEWER DEPARTMENT

STUCKER SUB-DIVISION



R.L.T. INC.

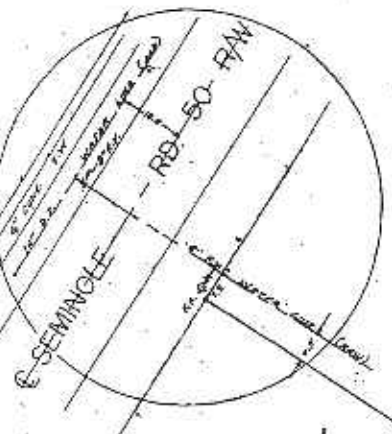
OWNER:  
COLUMBIA CROSSROADS ASSOCIATES  
2223 EXECUTIVE STREET  
CHARLOTTE, N.C. 28208

LINCOLN - CROSSROADS ASSOCIATES  
30.481 PG. 424

NOTE:  
1. REFERENCE DRAWING: BOOK 11-423, PAGE 104  
2. ELEVATIONS REFERENCED TO MEAN SEA LEVEL.

NOTE:  
ALL UNDERGROUND UTILITY LOCATIONS APPROXIMATE  
LOCATED BY SURVEY SITE PLAN, AND BY INFORMATION  
FROM UTILITIES CONTRACTORS.

I hereby certify that the sanitary sewer system and water system in  
Crossroads Associates as shown on the Plat dated July 11, 1984 prepared  
by Hucks and Associates, Inc. has been installed in accordance with the  
Preliminary Plan (Construction Drawing) approved March 7, 1984.  
*[Signature]*  
J. W. Hucks, S. E.



DETAIL 'A'  
1/2"=1'



DETAIL 'B'  
1/2"=1'

LEGEND

WATER MAIN	---
SANITARY SEWER	- - -
CLEAN OUTS	○
2" CHECK VALVES	⊕
CATCH BASIN	□

CF# SCANNED  
91-5B

WATER MAIN AND SEWER AS-BUILT	
COLUMBIA CROSSROADS III ASSOCIATES	
RICHLAND CO., SOUTH CAROLINA	
HUCKS & ASSOCIATES, INC.	
LAND SURVEYORS & LAND PLANNING	
DATE: 7-11-84	FILE NO: 2332



3080  
Sheet  
30

D 304 PAGE 610

1974-302-267

STATE OF SOUTH CAROLINA

Easement for water main.

COUNTY OF RICHLAND

KNOW ALL MEN BY THESE PRESENTS, that I, W. W. Dibble, subject to the reservations and reversions hereinafter set forth, and in consideration of my desire to make a gift, do hereby give to the City of Columbia, its successors and assigns, an easement and right-of-way, twelve (12) feet more or less in width, for the sole purpose of operating and maintaining an active underground water main under a portion of my lot of land identified as

Lot 1,  
Block 9,  
Tax Map 532.

(said Tax Map being one of the official Tax Maps of Richland County, South Carolina) and being more precisely described as follows:

Beginning at a point on the north right-of-way line of  
Interstate 20 and south property line of said Lot 1,  
Block 9, TMS 532 ten (10) feet west of the west property  
line of Lot 5, Block 6, TMS 532, and proceeding in a  
north-northwesterly direction for a distance of seven (7)  
feet more or less, thence turning and proceeding in a  
generally westerly direction, parallel to and adjacent to  
the north right-of-way line of Interstate 20 and south  
property line of said Lot 1, Block 9, TMS 532, for a  
distance of fifty (50) feet more or less, to intersect  
the east property line of Lot 1, Block 5, TMS 532, at a  
point seven (7) feet north of the north right-of-way line  
of Interstate 20, thence southward to the north right-of-way  
line of Interstate 20, thence eastward to the point of  
beginning.

ALSO, a temporary easement and right-of-way over the south forty (40) feet of the sforesaid Lot 1, Block 9, TMS 532 for the purpose of constructing the aforementioned water main, such temporary easement to expire at noon on December 30, 1974.

FURTHER, the grantor herein reserves unto himself, his heirs and assigns, the continuing right to use the real estate in which this easement and right-of-way is given, in any manner desired provided such action is not detrimental to the operation of the sforesaid water main.

PROVIDED FURTHER that this right-of-way and easement shall revert to the land of the grantor herein, his heirs and assigns in the event that said right-of-way and easement ceases to be used by the City of Columbia, its successors and assigns for the sole purpose of operating and maintaining an active water main.

TOGETHER with, all and singular, the rights, members, hereditaments and appurtenances thereunto belonging, or in anywise incident or appertaining,

TO HAVE AND TO HOLD, all and singular, the said right-of-way and easement unto the City of Columbia, its successors and assigns.

WITNESS this my hand and seal this 11th day of January 1974.

Memora F. Dean  
Pauline F. Bonnette

W. W. Dibble  
W. W. Dibble

D 304 PAGE 610

Exhibit File 302-267

FILED

JAN 22 9 16 AM '74



D 304 PAGE 611

STATE OF SOUTH CAROLINA

COUNTY OF ORANGEBURG

PERSONALLY appeared PAULINE F BOUNETTE  
and made oath that he saw the within named W. W. Dibble sign, seal and,  
as his act and deed, deliver the within written right-of-way and easement;  
and that she with GENEVA F DEAN  
witnessed the execution thereof.

Sworn to before me this 11th day of January 1974.

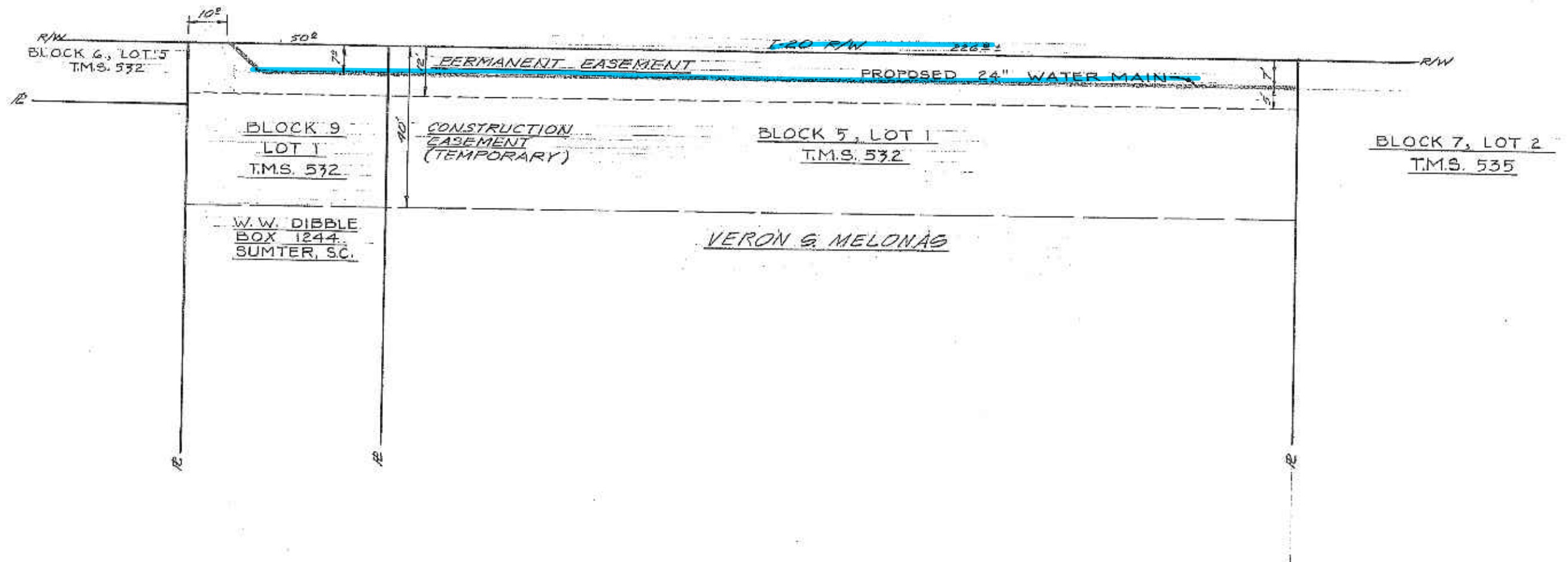
Geneva F. Dean  
Notary Public for South Carolina  
My commission expires Nov. 19, 1979

Pauline F. Bonnette

NOTARIAL SEAL

D 304 PAGE 611





CF # 56-31

CITY OF COLUMBIA DEPARTMENT OF ENGINEERING	
SCALE: 1" = 20'	APPROVED BY: E.H. Clark, Jr.
DATE: 7-27-73	DRAWN BY: G. B. REVISED:



307  
Sheet  
30

D 304 PAGE 76

1974-302-268

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

C

ED

EASEMENT

N.C.

Exempt file 302-268

FILE

In consideration of the sum of One (\$1) Dollar to me in hand paid by The City of Columbia, South Carolina, receipt of which is hereby acknowledged.

I, Veron S. Malonas

do hereby grant unto the said The City of Columbia, South Carolina, its successors and assigns, an easement and right-of-way 12 feet in width with an additional width of 28 feet for construction purposes, to construct, operate and maintain, together with the right of ingress and egress at all times for the purpose of constructing, operating and maintaining a water main and with the right to remove shrubbery, trees and other growth from the right-of-way and construction area provided that the property will be restored as nearly as practicable to its original condition upon completion of the construction and the damaged shrubbery and trees will be replaced with the same variety from nursery stock of a practical size, said easement and right-of-way to run through the property which I own or in which I have an interest, situate, lying and being

On the north side of Interstate 20 and the south of Chicoppee Drive, in the County of Richland, State of South Carolina, being referred to as Lot #1, Block #5, Tax Map Sheet #532, prepared by the Richland County Tax Assessor's Office and dated LM 1271.

Beginning at a point on the west property line of Lot #1, Block #9, TMS #532 and the east property line of said Lot #1, Block #5, TMS #532, seven (7) feet, more or less, north of the north right-of-way line of Interstate 20, and proceeding in a generally westerly direction parallel and adjacent to said northern right-of-way line of Interstate 20, for a distance of two hundred twenty-six and eight tenths (226.8) feet, more or less, to intersect the west property line of said Lot #1, Block #7, TMS 535, at a point seven (7) feet, more or less, north of the north right-of-way line of Interstate 20.

The line along which the proposed water line will be constructed shall be as shown on plat showing right-of-way to be secured by the City of Columbia, prepared by the Department of Engineering, City of Columbia, South Carolina, dated July 27, 1973, and being on file in the Office of the City Engineer, Columbia, South Carolina.

D 304 PAGE 76

ORIGINAL  
Stamped in Red



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the grantor(s) agree(s) to warrant and forever defend the above granted rights against himself or his heirs and against any other person lawfully claiming or to claim the same or any part thereof.

IN WITNESS WHEREOF, I \_\_\_\_\_ has hereunto set my hands and seals this 11th day of January, in the year of our Lord, One Thousand Nine Hundred and Seventy-four.

Witnesses:

James B. Frazier  
Witness #1  
Walter B. Todd  
Witness #2

Veron S. Melonas  
Veron S. Melonas

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me Walter B. Todd and made oath  
that he saw the within-named Veron S. Melonas  
sign, seal and as his act and deed deliver the within written instrument for the  
uses and purposes therein mentioned and that he with James B. Frazier  
witnesses the execution thereof.

SWORN to before me this 11th  
day of January, 1974.

Margaret K. Dent (L.S.)  
Notary Public for South Carolina

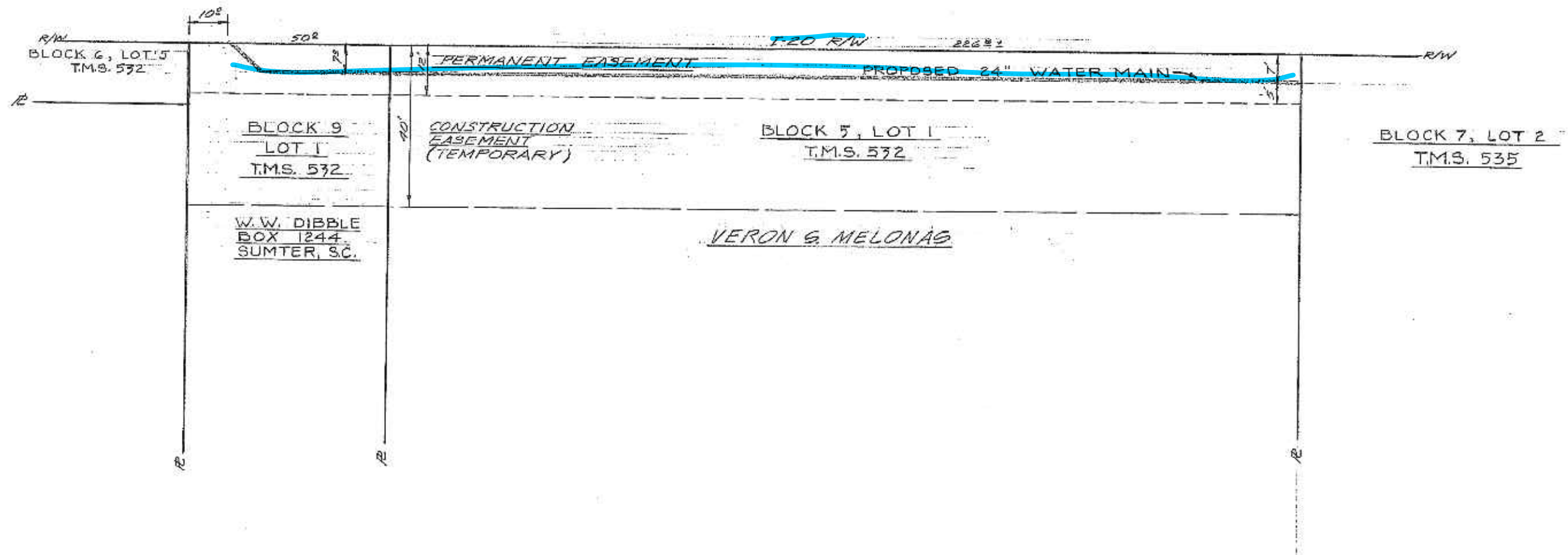
Walter B. Todd  
Witness #1

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )


NO RENUNCIATION OF DOWER  
Grantor Unmarried

I, \_\_\_\_\_, a Notary Public for South Carolina,  
do certify unto all whom it may concern, that Mrs. \_\_\_\_\_  
wife of the within-named \_\_\_\_\_ did this day appear before  
me, and upon being privately and separately examined by me, did declare that she  
does freely, voluntarily, and without any compulsion, dread, or fear of any person  
or persons whomsoever renounce, release and forever relinquish unto the within-named,  
The City of Columbia, its successors and assigns, all her interest and estate, and  
also all her right and claim of Dower, of, in, or to all and singular the





**CF #56-31**

	CITY OF COLUMBIA	
	DEPARTMENT OF ENGINEERING	
SCALE: 1" = 20'	APPROVED BY: <i>E.H. Clark, Jr.</i>	DRAWN BY G. B.
DATE: 7-27-73	REVISOR:	



STATE OF SOUTH CAROLINA )

)

EASEMENT

COUNTY OF RICHLAND )

Tract 188

In consideration of the sum of One (\$1) Dollar, each to the other paid, receipt of which is hereby acknowledged, I, George Melonas do hereby grant unto the said City of Columbia, South Carolina, its successors or assigns, an easement and right-of-way 10 feet and 15 feet in width, with an additional width of 10 feet and 15 feet for construction purposes only, to construct, operate and maintain together with the right of ingress and egress at all times for the purpose of constructing, operating, and maintaining a water main and with the right to remove shrubbery, trees and other growth from the right-of-way and construction area provided that the property will be restored as nearly as practicable to its original condition upon completion of the construction and any trees which must be removed shall be sawed into commercial lengths and stacked adjacent to the right-of-way for the property owner, and any damaged shrubbery will be replaced with the same variety from nursery stock of a practicable size, said easement and right-of-way to run through the property which I own or in which I have an interest, situate, lying and being

In the State of South Carolina, County of Richland; being designated as a portion of lot 01, block 07, sheet 06014 of tax maps prepared by the office of the Richland County Tax Assessor, LR 12/92.

A permanent easement, 15 feet in width; the centerline of said easement beginning on the southwestern property line of said lot 01 at a point seven and five tenths (7.5) feet northwest of the southernmost property corner and extending therefrom in a northeasterly direction; parallel to the southeastern property line for a distance of fifty (50) feet to abut the northeastern property line at a point seven and five tenths (7.5) foot northwest of the easternmost property corner; thence terminating. Be all measurements a little more or less. Said 15 foot easement includes a 5 foot BellSouth encroachment.

ALSO, a permanent easement, 10 feet in width; the centerline of said easement beginning on the northwestern property line at a point five (5) feet southwest of the northernmost property corner and extending therefrom in a southeasterly direction for a distance of ninety-four and five tenths (94.5) feet to abut the aforementioned 15 foot easement; thence terminating. Be all measurements a little more or less. Said 10 foot easement includes a 5 foot BellSouth encroachment.

This easement is more clearly delineated on a plat of easement to be obtained for water main from I-20 to Chippewa Drive; Project W756-5/6, drawing 1 of 1, dated June 8, 1999, last revised October 1, 2001, prepared by the City of Columbia, South Carolina, Department of Engineering, and being on file in the office of the City's Director of Engineering under file reference #250-53.

EJB: jb E-337

Book 00579-1750  
001082045 10/19/2001 10:43:05:04  
Fee: \$0.00 County Tax: \$0.00 State Tax: \$0.00



Easement



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor(s) agree(s) to warrant and forever defend the above grantee rights against himself or his heirs and against any other person lawfully claiming or to claim the same or any part thereof.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 5<sup>th</sup> day of October, in the year of our Lord, Two Thousand.

WITNESSES:

[Signature]  
[Signature]

[Signature]  
GEORGE MELONAS

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF Richland

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of October, 2001 by the within-named Grantor.

[Signature]

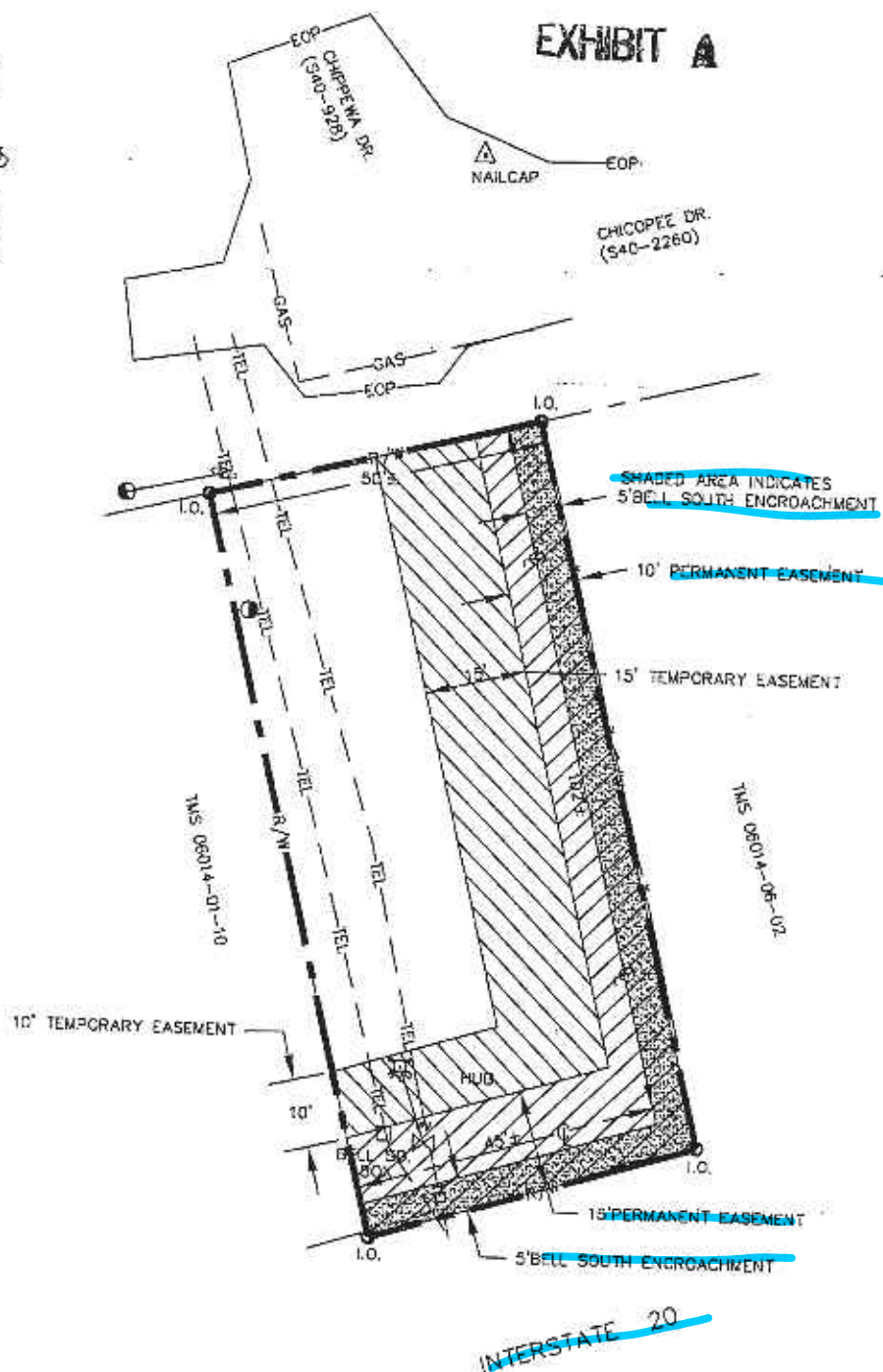
NOTARY PUBLIC FOR SC

MY COMMISSION EXPIRES 6-16-2001





# EXHIBIT A



TMS 06014-07-01  
N/P  
GEORGE MELCHAS  
PERMANENT EASEMENT=0.040 ACRES  
EASEMENT PLAT BASED ON  
COMPLIATIONS ONLY, NO  
PROPERTY SURVEY PERFORMED.  
RICHMOND COUNTY  
TMS 06014 L.R. 12/92  
DAVID S. SHARPE SCRLS #10509

CITY OF COLUMBIA DEPARTMENT OF UTILITIES AND ENGINEERING COLUMBIA, SOUTH CAROLINA		
SCALE: NTS	APPROVED BY:	DRAWN BY:
DATE: 6/8/99		WMD
PERMANENT EASEMENT TO BE OBTAINED FOR WATER MAIN FROM 1-20 TO CHIPPEWA DR.		
PROJECT NO.: W756-5/6	DWG. No. OF	
REVISION NO.: 1	DATE: 10/01/01	
CHANGE EASEMENT LOCATION AND OWNERS NAME		



STATE OF SOUTH CAROLINA ) 1972-301-108  
 )  
 COUNTY OF RICHLAND ) DEED TO PORTION OF WATER LINES IN BRIARGATE APARTMENTS

BRIARGATE, INC.

TO

THE CITY OF COLUMBIA

TMS # 06081-02-49, 50, 51, 52, 53, 54, 55, 56, 57 & 61

FOR VALUE RECEIVED, it, Briargate, Inc., of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all its right, title and interest in and to the below described water lines.

All those certain water lines the same being six (6) inches, three (3) inches, and two (2) inches in diameter including valves, valve boxes, hydrants, service lines run from main lines to meter sites and all fittings.

Beginning at the City's water line on the northern leg of Briargate Circle in the vicinity of building # 14 and running in a northerly direction, a distance of two hundred ten (210) feet, more or less, to the vicinity of the southern corner of building # 13; thence, turning and running in a northwesterly direction, a distance of one hundred ninety-five (195) feet, more or less, to a point northwest of building # 13; thence, turning and running in a southwesterly direction along the northwest sides of buildings # 10 and # 12 to a point in the vicinity of the west corner of building # 10; thence, turning and running in a southerly direction along the west sides of buildings # 9, # 8, and # 7 to a point near the southwest corner of building # 7; thence, turning and running in an easterly direction along the south sides of buildings # 6 and # 4 to a point near the southeast corner of building # 4; thence, turning and running in a northerly direction along the east side of building # 4, a distance of two hundred eighty-five (285) feet, more or less, to a point south of building # 3; thence, turning and running in an easterly direction a distance of one hundred eighty (180) feet, more or less, and connecting to a City water line on the southern leg of Briargate Circle.

Also, beginning at the above water line in the vicinity of the northwest corner of building # 8 and running in an easterly direction, a distance of three hundred thirty (330) feet, more or less, to a terminal end.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewers, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

It is further understood and agreed that the said owner of property known as Briargate Apartments its successors or assigns, does hereby grant unto the City of Columbia its successors or assigns, the right, privilege and authority of ingress and egress, at all times, for the purpose of operating and maintaining all water lines, valves, hydrants, service lines and meters as described above; situate, lying and being within the property owned by Briargate, Inc. and being known as Briargate Apartments.

Deed file 301-108

sheet 31

334  
335  
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These water lines are more clearly delineated on a plat of Briargate Apartments Richland County, near Columbia, South Carolina, prepared by William Earl Gilbert, Engineer, dated September 12, 1972, on file in the Office of the City Engineer, Columbia, South Carolina.

To have and to hold the said property unto The City of Columbia, its successors and assigns.

And it, Briargate, Inc, warrants that it is the lawful owner of said property and has the right to convey same; and that the property conveyed is free and clear of any and all liens and encumbrances of whatsoever kind or nature.

WITNESS its hand and seal this 21st day of December, 1972.

Witnesses:

Margaret E. Luper  
Julia A. Cochran

BRIARGATE, INC.

By: Ronald E. Orr V.P.  
Ronald E. Orr - Vice President Title  
Briargate, Inc.

KANSAS  
STATE OF ~~SOUTH CAROLINA~~ )  
COUNTY OF ~~RICHLAND~~ )

PERSONALLY APPEARED before me Julia A. Cochran and made oath that he saw the within named Briargate, Inc, sign, seal and as its act and deed deliver the within written instrument for the uses and purposes therein mentioned and that she with Margaret E. Luper witnessed the execution thereof.

Julia A. Cochran

SWORN to before

me this 21<sup>st</sup> day of December, 1972.

Janet G. Bryant (J.S.)  
Notary Public for ~~SOUTH CAROLINA~~  
Kansas





STATE OF SOUTH CAROLINA COUNTY OF RICHLAND	
BRIARGATE, INC.	
TO	
THE CITY OF COLUMBIA, S. C.	
DEED TO PORTION OF WATER LINES IN BRIARGATE APARTMENTS	
OFFICE OF THE CITY ATTORNEY CITY HALL COLUMBIA, SOUTH CAROLINA	
ROY D. BATES CITY ATTORNEY THOMAS E. LYDON, JR. ASSISTANT CITY ATTORNEY	

1 page by copy from the N. 100A

*Deed*

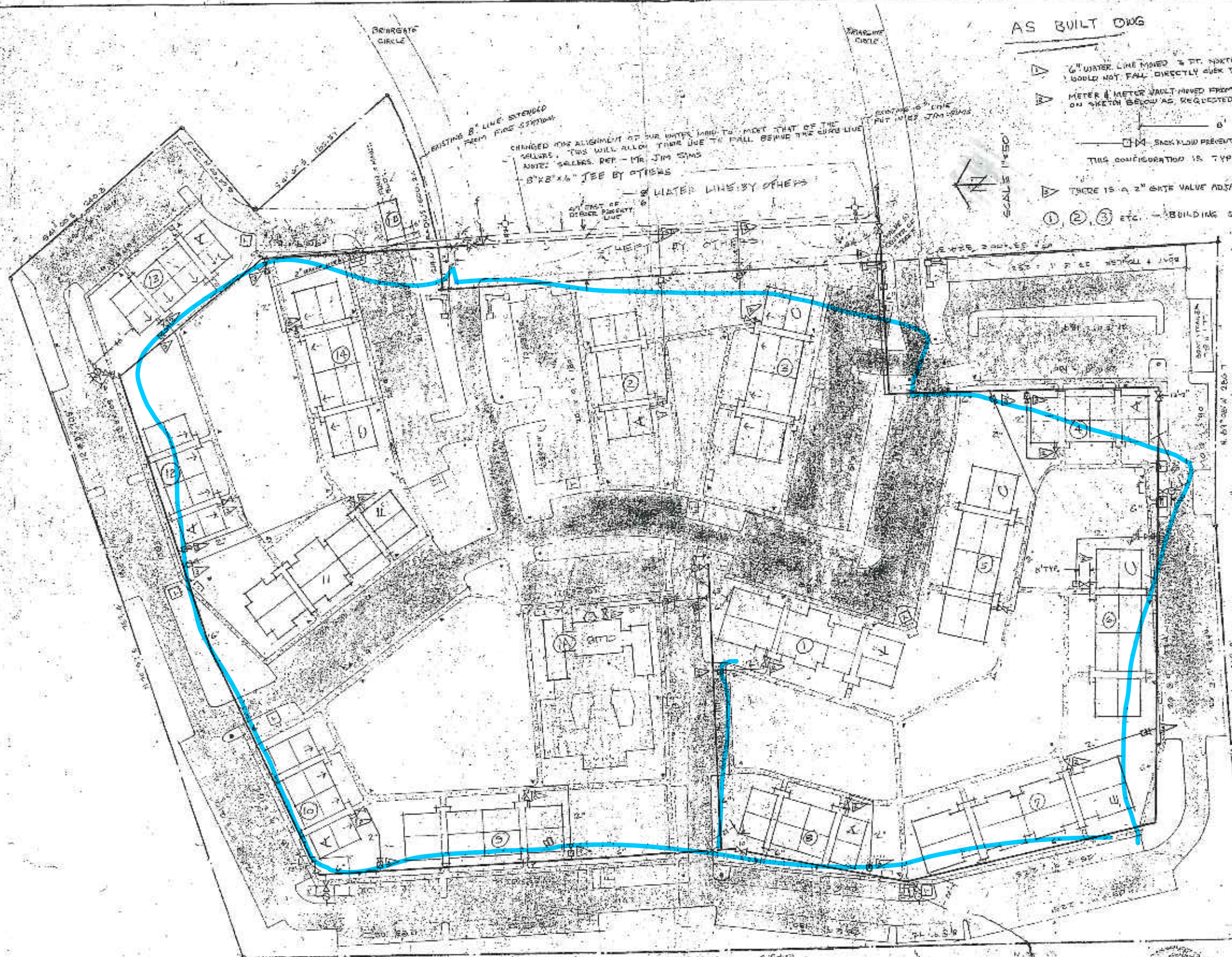
929A Jan 73

D-267-37  
John R. T. Major  
Per



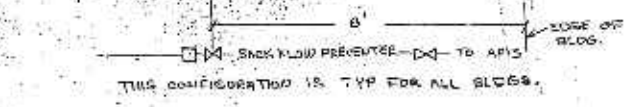
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Sheet 31



AS BUILT DWG

- 6" WATER LINE MOVED 3 FT. NORTH SO THE BRICK ENTRANCE MARKERS WOULD NOT FALL DIRECTLY OVER THE LINE
- METER & METER VAULT MOVED FROM LOCATION SHOWN ON DWG TO THAT SHOWN ON SKETCH BELOW AS REQUESTED FOR ED MILNER, CITY WATER INSPECTOR



- THERE IS A 2" SHUT VALVE ADJACENT TO THE GAGGLE TEE FOR EACH SERVICE LINE
- ① ② ③ ETC. - BUILDING SEQUENCE NUMBER

LEGEND

- 6" WATER LINE
- 2" SERVICE LINE
- WATER VALVE
- 6" FIRE HYDRANT WITH VALVE & VALVE BOX
- METER AND METER VAULT

NOTE:  
WATER LINES TO BE CONSTRUCTED BY  
AS PER THE CITY OF COLUMBIA S.C.  
WATER WORKS SYSTEM SPEC'S.  
REVISED 10-1-70.

RECEIVED

SEP 19 1971  
ENGINEERING DEPARTMENT  
COLUMBIA, S.C.

9/10/71  
J. F. G. Smith  
4001



SCANNED

JACK P. DE BOER ASSOCIATES, INC.

WATER DISTR. SYSTEM		DATE	11-13-71
PROJECT BRIARGATE		ISSUE	1
LOCATION COLUMBIA, S.C.		PROJECT NUMBER	4001
DATE 7-28-71		DRAWN BY	J.H.
CHECKED BY		ISSUE NUMBER	9

I-20

CF # 16-30



390  
Sheet  
31

#9070

STATE OF SOUTH CAROLINA )

DEED TO WATER LINES FOR THE  
CHRISTIE COMPANY PROJECT; RICHLAND  
COUNTY TMS #7402-05-01

COUNTY OF RICHLAND )

Tract 196

THE CHRISTIE CO., INC. AND TASHA B. GRIFFIN

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, We, The Christie Co., Inc. and Tasha B. Griffin of  
Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto The City  
of Columbia, its successors or assigns, all our right, title and interest in and to the  
below described water lines:

All those certain water lines, the same being 6" and 8" in diameter including  
valves, valve boxes, fire hydrants, meter boxes, service lines to fire hydrants and meter  
boxes and all components to complete the system.

All metes, courses, bounds and measured distances described herein are  
approximate. The precise metes, courses, bounds and measured distances are more  
particularly described and shown on City File #248-08, which is incorporated herein by  
specific reference thereto.

A 6" water line beginning at a valve and tie to an existing City of Columbia 6"  
water line located in Briargate Circle, seventy and two tenths (70.2) feet northeast of  
the northwestern property corner of subject property; thence extending in a southerly  
direction crossing Briargate Circle and along subject property for a distance of sixty-six  
and five tenths (66.5) feet to a 6" x 8" increaser, located sixty (60) feet southeast of the  
northwestern property corner of subject property; thence an 8" water line continuing in a  
southerly direction along subject property for a distance of one hundred forty-six (146)  
feet to a bend located approximately sixty-two (62) feet northeast of the northwestern  
corner of subject structure; thence turning and extending in a westerly direction for a  
distance of twenty (20) feet to an 8" x 6" reducer; thence a 6" water line continuing in a  
westerly direction for a distance of five and five tenths (5.5) feet to a valve; thence  
turning and extending in a southerly direction for a distance of approximately ten (10)  
feet to a meter pit, located approximately thirty-five (35) feet northeast of the  
northwestern corner of subject structure; thence terminating.

The Grantor hereby agrees to be responsible for repairs of all damage to water  
lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby  
conveyed which arise out of the operation of any equipment or vehicles under control of  
the Grantor or any other party in connection with the initial installation of streets, paving,  
curbs and gutters, drainage, sewer, utility lines, final grading or improvements in  
development of property served by said lines, and the Grantor shall either effect  
necessary repairs or reimburse the City for the cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines and  
appurtenances heretofore described for the purpose of ingress, egress, operation and  
maintenance of said water lines. The grantor hereby agrees that no construction  
(including, but not limited to, buildings, paving, pipe lines or other utilities) will be  
allowed within the limits of this easement without prior approval of the City Engineer.



This conveyance also includes all water line easements shown on a set of record drawings prepared for The Christie Company, in Richland County, near the City of Columbia, South Carolina, dated May 28, 1999, last revised November 30, 1999, prepared for The Christie Company by Cox & Dinkins, Inc., Robert T. Blackwell, S.C.P.E. #12542, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #248-08.

These water lines are more clearly delineated on a set of record drawings for The Christie Company, in Richland County, near the City of Columbia, South Carolina, dated May 28, 1999, last revised November 30, 1999, prepared for The Christie Company by Cox & Dinkins, Inc., Robert T. Blackwell, S.C.P.E. #12542, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #248-08.

LS: jb D-349



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against itself or its successors.

And it, The Christie Co., Inc, warrant that it is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 20<sup>th</sup> day of Jan, in the year of our Lord, One Thousand Nine Hundred and Ninety Nine.

WITNESSES:

London H. Ruthenford  
Kim D. Websterfield

THE CHRISTIE CO., INC.

By: [Signature]  
Its: President

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF )

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of Jan, 2000 by JACK JENNIFIN Pres of Cata SC  
(Name of Officer and Title) (City and State)  
on behalf of the within-named Grantor.

Kim D. Websterfield  
NOTARY PUBLIC FOR SC  
MY COMMISSION EXPIRES 10/25/2003



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against itself or its successors.

And she, Tasha B. Griffin, warrant that she is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 20 day of Jan, in the year of our Lord, Two Thousand ~~One Thousand Nine Hundred and Ninety Nine~~.

WITNESSES:

Lydon H. Butcherfield  
Kim D. Websterfield

Tasha B. Griffin  
TASHA B. GRIFFIN

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF )

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of Jan, 2000 by the within-named Grantor.

Kim D. Websterfield

NOTARY PUBLIC FOR SC

MY COMMISSION EXPIRES 10/25/2003



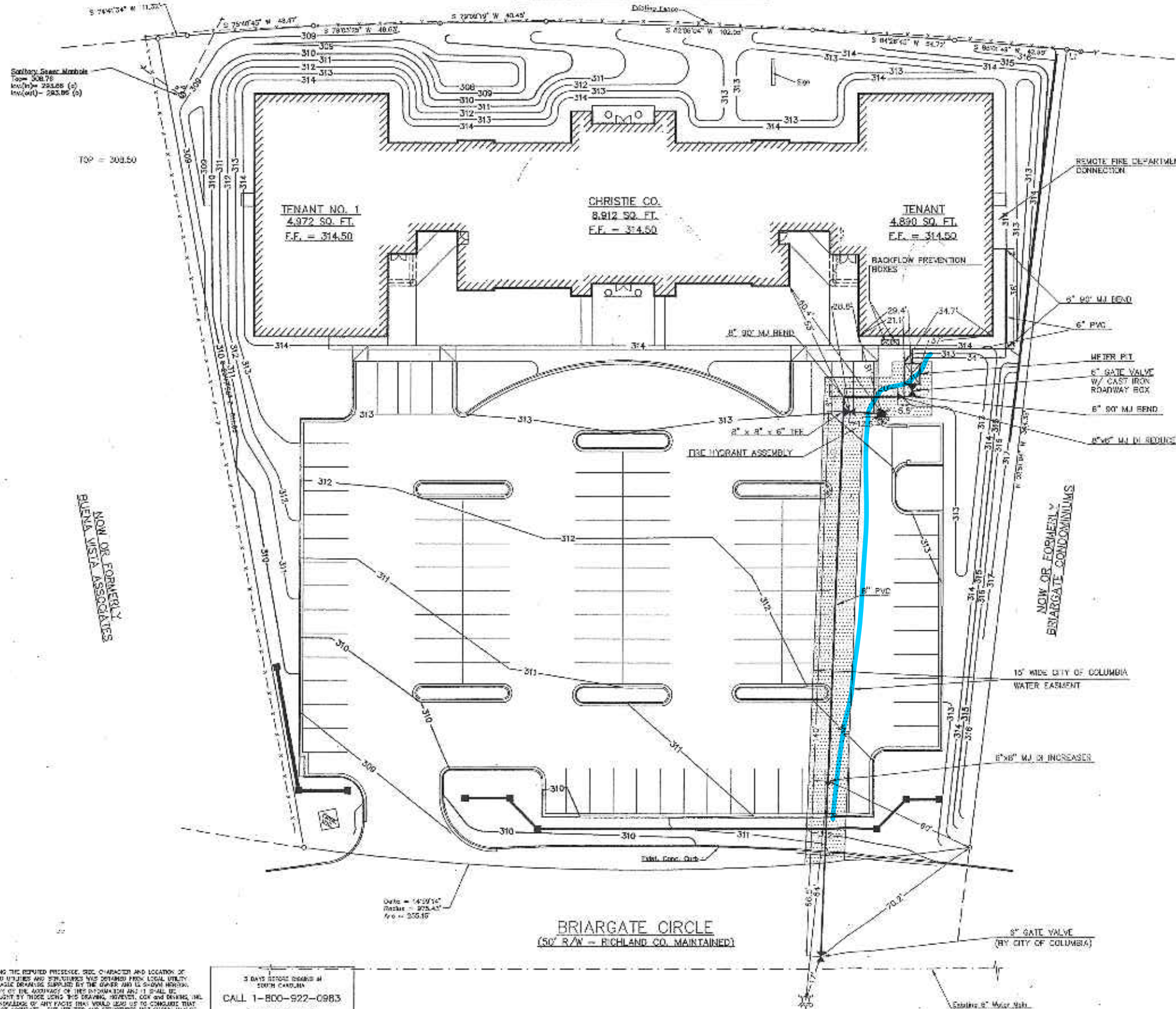
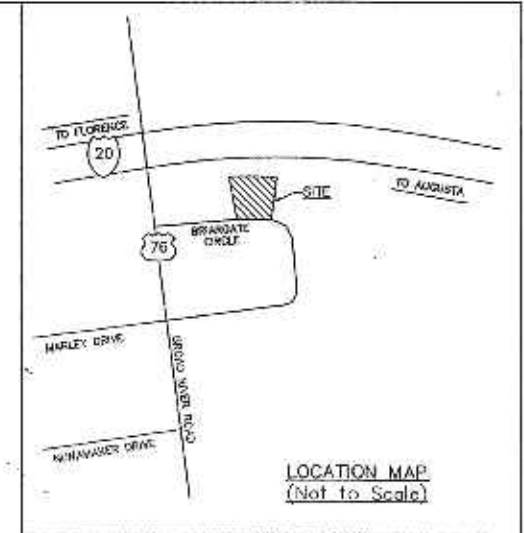
LINE TABLE		
LINE	LENGTH	BEARING
1	5.57	S 85°27'30" W

PROPOSED ELEVATION CONTOURS  
(POST CONSTRUCTION)

833

INTERSTATE HIGHWAY NO. 20

MAGNETIC



I HEREBY CERTIFY THAT THE WATER SYSTEM FOR THE CHRISTIE COMPANY, SHOWN ON PLANS DATED MAY 25, 1998, LAST REVISED NOVEMBER 30, 1998, PREPARED BY ROBERT T. BLACKWELL, P.E. WITH COX AND DINKINS, INC., HAS BEEN INSTALLED ESSENTIALLY IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS APPROVED JUNE 28, 1998.

11/30/98  
DATE

Robert T. Blackwell  
ROBERT T. BLACKWELL  
PROFESSIONAL ENGINEER NO. 12542

APPROVED

OWNER:  
THE CHRISTIE COMPANY  
1140 BRIARGATE CIRCLE,  
COLUMBIA, S.C. 29210  
803-772-5768

NO.	DATE	DESCRIPTION	BY
5	11/30/98	RECORD DATA	REL
4	0/23/99	REVISION TO REFLECT CHANGE	EMA
3	1/23/99	REVISION TO REFLECT CHANGE	EMA
2	1/8/99	REVISION TO REFLECT CHANGE	EMA
1	6/15/98	REVISIONS PER DEVELOPER	EMA

#### REFERENCES:

- 1) PLAT OF PROPERTY SURVEYED FOR WILLIAM A. DENNEY, JR., LAWRENCE D. PITTIS, JR. AND GENEVIE J. DENNEY, JR., BY G.P. BARTER & ASSOC., INC., DATED MAY 11, 1993, AND RECORDED IN THE OFFICE OF THE CLERK OF COURTS FOR RICHLAND COUNTY IN PLAT BOOK NO. 44, PAGE 169.
- 2) PLAT PREPARED FOR JASPER B. GREEN, BY CAROLINA SURVEYING, INC., DATED JANUARY 5, 1993.
- 3) PLAT OF BRIARGATE APARTMENT, BY DENNEY & ASSOCIATES, INC., DATED JANUARY 10, 1978, REVISED SEPTEMBER 4, 1979, AND RECORDED IN PLAT BOOK NO. 1, PAGE 347.
- 4) RICHLAND COUNTY AIR MAP 7602-35-01

#### RECORD DRAWING - WATER PLAN

PREPARED FOR  
THE CHRISTIE COMPANY

ISLAND COUNTY, NEAR COLUMBIA, S.C.

DATE  
MAY 25, 1998

Scale 1" = 20'

COX and DINKINS, INC.

ENGINEERS • SURVEYORS

614 Holly Street, Columbia, South Carolina - 29205  
(803) 254-0318

Project No: 0734  
SHEET NO. 1 OF 1

Sheet No. 1 OF 1  
DATE: MAY 25, 1998



PROFESSIONAL ENGINEER  
NO. 12542

INFORMATION REGARDING THE EXISTENCE, SIZE, CHARACTER AND LOCATION OF EXISTING UTILITIES AND STRUCTURES HAS BEEN OBTAINED FROM LOCAL UTILITY COMPANIES AND AVAILABLE RECORDS. THE USER AND IS SHOWN HEREIN. THERE IS NO GUARANTEE OF THE ACCURACY OF THIS INFORMATION AND IT SHALL BE CONSIDERED BY THAT USER BY THOSE USING THIS DRAWING. COX AND DINKINS, INC. HAS NO KNOWLEDGE OF ANY FACTS THAT WOULD LEAD UP TO CONCLUDE THAT THE INFORMATION IS NOT ACCURATE. BUT UTILITIES AND STRUCTURES NOT SHOWN HAVE NOT BEEN LOCATED. THE USER AND STRUCTURES NOT SHOWN HAVE NOT BEEN LOCATED. THE USER AND STRUCTURES NOT SHOWN HAVE NOT BEEN LOCATED. THE USER AND STRUCTURES NOT SHOWN HAVE NOT BEEN LOCATED.

3 DAYS BEFORE ISSUED IN  
SOUTH CAROLINA  
CALL 1-800-922-0983  
UNDERGROUND LOCATIONS  
CAN VARY GREATLY FROM  
THE INFORMATION LOCATED  
ONLY TO BE USED FOR A  
GENERAL INDICATION.

BENCH MARK ELEVATION = 315.41' MEAN SEA LEVEL  
A BENCH MARK (BM) NO. 21701, LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF  
BROAD RIVER ROAD AND MARLEY DRIVE.

CF#248-08



344  
Sheet 31

#9010

STATE OF SOUTH CAROLINA )

DEED TO WATER LINES FOR THE  
CHRISTIE COMPANY PROJECT; RICHLAND  
COUNTY TMS #7402-05-01

Tract 196

COUNTY OF RICHLAND )

THE CHRISTIE CO., INC. AND TASHA B. GRIFFIN

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, We, The Christie Co., Inc. and Tasha B. Griffin of  
Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto The City  
of Columbia, its successors or assigns, all our right, title and interest in and to the  
below described water lines.

All those certain water lines, the same being 6" and 8" in diameter including  
valves, valve boxes, fire hydrants, meter boxes, service lines to fire hydrants and meter  
boxes and all components to complete the system.

All metes, courses, bounds and measured distances described herein are  
approximate. The precise metes, courses, bounds and measured distances are more  
particularly described and shown on City File #248-08, which is incorporated herein by  
specific reference thereto.

A 6" water line beginning at a valve and tie to an existing City of Columbia 6"  
water line located in Briargate Circle, seventy and two tenths (70.2) feet northeast of  
the northwestern property corner of subject property; thence extending in a southerly  
direction crossing Briargate Circle and along subject property for a distance of sixty-six  
and five tenths (66.5) feet to a 6" x 8" increaser, located sixty (60) feet southeast of the  
northwestern property corner of subject property; thence an 8" water line continuing in a  
southerly direction along subject property for a distance of one hundred forty-six (146)  
feet to a bend located approximately sixty-two (62) feet northeast of the northwestern  
corner of subject structure; thence turning and extending in a westerly direction for a  
distance of twenty (20) feet to an 8" x 6" reducer; thence a 6" water line continuing in a  
westerly direction for a distance of five and five tenths (5.5) feet to a valve; thence  
turning and extending in a southerly direction for a distance of approximately ten (10)  
feet to a meter pit, located approximately thirty-five (35) feet northeast of the  
northwestern corner of subject structure; thence terminating.

The Grantor hereby agrees to be responsible for repairs of all damage to water  
lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby  
conveyed which arise out of the operation of any equipment or vehicles under control of  
the Grantor or any other party in connection with the initial installation of streets, paving,  
curbs and gutters, drainage, sewer, utility lines, final grading or improvements in  
development of property served by said lines, and the Grantor shall either effect  
necessary repairs or reimburse the City for the cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines and  
appurtenances heretofore described for the purpose of ingress, egress, operation and  
maintenance of said water lines. The grantor hereby agrees that no construction  
(including, but not limited to, buildings, paving, pipe lines or other utilities) will be  
allowed within the limits of this easement without prior approval of the City Engineer.



This conveyance also includes all water line easements shown on a set of record drawings prepared for The Christie Company, in Richland County, near the City of Columbia, South Carolina, dated May 28, 1999, last revised November 30, 1999, prepared for The Christie Company by Cox & Dinkins, Inc., Robert T. Blackwell, S.C.P.E. #12542, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #248-08.

These water lines are more clearly delineated on a set of record drawings for The Christie Company, in Richland County, near the City of Columbia, South Carolina, dated May 28, 1999, last revised November 30, 1999, prepared for The Christie Company by Cox & Dinkins, Inc., Robert T. Blackwell, S.C.P.E. #12542, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #248-08.

L.S: jlb D-349



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against itself or its successors.

And it, The Christie Co., Inc, warrant that it is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 20<sup>th</sup> day of Jan, in the year of our Lord, One Thousand Nine Hundred and Ninety Nine.

WITNESSES:

London H. Rutherford  
Kim D. Westerfield

THE CHRISTIE CO., INC.

By: [Signature]

Its: President

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF )

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of Jan, 2000 by Jack J. Griffin / Pres of Calhoun SC  
(Name of Officer and Title) (City and State)  
on behalf of the within-named Grantor.

Kim D. Westerfield

NOTARY PUBLIC FOR SC

MY COMMISSION EXPIRES 10/25/2003



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against itself or its successors.

And she, Tasha B. Griffin, warrant that she is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 20 day of Jan, in the year of our Lord, Two Thousand ~~One Thousand Nine Hundred and Ninety Nine~~.

WITNESSES:

London H. Butcherfield  
Kim D. Websterfield

Tasha B. Griffin  
TASHA B. GRIFFIN

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF )

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of Jan, 2000 by the within-named Grantor.

Kim D. Websterfield

NOTARY PUBLIC FOR SC

MY COMMISSION EXPIRES 10/25/2003



MAGNETIC

- 633 -

**Southern Senior, Maxwell**  
Topic: 3085.76  
Inv.(in) = 283.00 (a)  
Inv.(out) = 293.00 (b)

102 = 308.50

CHRISTIE CO.  
8,912 SQ. FT.  
E.F. = 314.50

~~REMOTE FIRE DEPARTMENT  
CONNECTION~~

LOCATION MAP  
(Not to Scale)

NOW OR FORMERLY?  
 BUENA VISTA ASSOCIATES

NOW OR FORMERLY  
BRIARGATE CONDOMINIUMS

I HEREBY CERTIFY THAT THE WATER SYSTEM FOR THE CHRISTY COMPANY, SHOWN ON PLANS DATED MAY 28, 1998, LAST REVISED NOVEMBER 30, 1999, PREPARED BY ROBERT T. BLACKWELL, P.E. WITH COX AND DINKINS, INC., HAS BEEN INSTALLED ESSENTIALLY IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS APPROVED JUNE 28, 1998.

DATE \_\_\_\_\_

*Robert T. Blackwell*  
ROBERT T. BLACKWELL  
PROFESSIONAL ENGINEER NO. 12542

APPROVED

6	11/30/99	RECORD DATA	HAL
4	9/23/99	REASON FOR INITIAL CHANGE	CHN
3	7/10/99	REASON FOR ADDITION	CHN
2	7/5/96	REUSE WITH AGENCY	CHN
1	6/15/99	REVISIONS FOR DEVELOPER	CHN
NO.	DATE	DESCRIPTION	BY

**OWNER:**  
THE CHRISTIE COMPANY  
1140 BRIARGATE CIRCLE,  
COLUMBIA, S.C. 29210  
803-772-5768

#### REFERENCES:

- 3) PLAT OF PROPERTY SURVEYED FOR WILLIAM A. KENNEDY, JR., LAURENCE D. FITTS, JR. AND JEFFREY J. SCHUMBERG, BY E.L. BARBER & ASSOC., INC., DATED MAY 11, 1972, AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR RICHLAND COUNTY IN PLAT BOOK NO. 44, PAGE 169.  
4) PLAT PREPARED FOR TAYLOR C. CHRISTIAN, DATED JANUARY 6, 1978.  
5) RECORD OF DEEDS OF RICHLAND COUNTY, BY EMMETT ASSOCIATES, INC., DATED JANUARY 16, 1978, REHEARD SEPTEMBER 4, 1978, AND RECORDED IN PLAT BOOK "A", PAGE 16478.  
6) RICHLAND COUNTY TAX MAP 7402-08-01

RECORD DRAWING - WATER PLAN

PREPARED FOR

THE CHRISTIE COMPANY

RICHARD COUNTY, NEAR COLUMBIA, S.C.

**JUNE**

MAY 28 1990

Scale: 1" = 20'

1. DUKAKIS

COX and DINKINS, INC.

ENGINEERS • SURVEYORS

614 Holly Street; Columbia, South Carolina - 29205  
(803) 254-0516

Project No: 0734  
DOCK 640-28 TH 45

Sheet No. 1 of 1

Robert L. Williams

INFORMANTS REGARDING THE REQUIRED PRESENCE, SIZE, CHARACTER AND LOCATION OF PERSONS INFORMATION RELIABLE AND STRUTTERAS WAS OBTAINED FROM LOCAL POLICE, AND AN ADDRESS AND PHONE NUMBER WAS OBTAINED FROM THE CHICAGO POLICE DEPARTMENT. THIS IS THE ONLY COPY OF THE INFORMATION SUPPLIED BY THE CHICAGO POLICE DEPARTMENT. IT WAS OBTAINED FROM THAT LAST BY THREE USING THE DRAWING, NUMBER, COX AND DENNIS, WHO HAS NO RECORD OR KNOWLEDGE OF ANY FACTS THAT WOULD LEAD TO THE CONCLUSION THAT COX AND DENNIS ARE NOT ACTUALLY THE SAME PERSON. THE STRONG AND A COX MAY BE DISMISSED, THIS COULD BE AN EMPLOYMENT, CONSULTING, OR ASSIGNMENT AND HIS CONVICTIONS SHOULD BE CAREFULLY UNDERSTOOD THAT COX AND DENNIS, IS AN EMPLOYMENT AND HIS CONVICTIONS IN SUPPORT OF THE INFORMATION INFORMATION. INFORMATION IN RESPECT TO ABOVE GROUP AND MEMBERS OF SUCH UTILITIES IS BASED ON THE INFORMATION OBTAINED FROM THE CHICAGO POLICE DEPARTMENT.

3 DAYS BEFORE DETONING IN  
SOUTH CAROLINA  
CALL 1-800-922-0983

UNDERGROUND LOCATIONS:  
CONTRACTOR SHALL CONTACT  
THE UNDERGROUND LOCATORS  
EVERY 10 DAYS FOR AN UPDATE  
TO UTILITY LOCATIONS.

BRIARGATE CIRCLE  
(50' R/W - RICHLAND CO. MAINTAINED)

6" GATE VALVE  
(BY CITY OF COLUMBIA)

BENCH MARK ELEVATION = 315.41' MEAN SEA LEVEL

A SPIRIT IN FORTH POLE NO. 217701, LOCATED IN THE SOUTHWEST QUADRANT OF THE INTERSECTION OF  
EDDIE RIVER ROAD AND WAGLEY DRIVE

Sheet No. 1 of 1  
PROFESSIONAL ENGINEER  
No. 12542  
248-08



# 8444

STATE OF SOUTH CAROLINA )

DEED TO WATER LINES FOR ECONO LODGE MOTEL  
ON GARNER LANE, OFF-SITE AND ON-SITE; RICHLAND  
COUNTY TMS #07402-03-03 (PORTION); new TMS#07402-03-04

COUNTY OF RICHLAND )

RASIKLAL A. PATEL and HANSABEN R. PATEL

TO

THE CITY OF COLUMBIA

Book 00310-1043  
Page 1043 of 1043  
Fee: \$0.00 County Tax: \$0.00 State Tax: \$0.00

Deed



370  
Sheet  
31+35

FOR VALUE RECEIVED, We, Rasiklal A. Patel and Hansaben R. Patel, of Columbia, South Carolina, do hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all our right, title and interest in and to the below described water lines:

All those certain water lines, the same being 6" and 8" in diameter including valves, valve boxes, fire hydrants, meter boxes, service lines to fire hydrants and meter boxes and all components to complete the system.

All metes, courses, bounds and measured distances described herein are approximate. The precise metes, courses, bounds and measured distances are more particularly described and shown on City File #236-01, which is incorporated herein by specific reference thereto.

An 8" water line beginning with a tie to an existing City of Columbia 8" water line located in the northeastern right-of-way of Broad River Road (US Highway #176) near the intersection of the northwestern right-of-way of Garner Lane; thence extending in a northeasterly direction for a distance of approximately eight (8) feet to a bend; thence turning and extending in a more easterly direction for a distance of approximately seventy-five (75) feet to a bend, located approximately one hundred fifteen (115) feet northwest of a property iron at the intersection of the southeastern right-of-way of Garner Lane and the northeastern right-of-way of Broad River Road; thence turning and extending in a more southerly direction for a distance of approximately fifty-five (55) feet to a bend, located approximately sixty-three (63) feet northwest of the aforesaid property iron; thence turning and extending in a northeasterly direction along Garner Lane for a distance of two hundred twenty (220) feet to a tee located approximately seventy-three (73) feet north of the northwestern property corner of subject property; thence extending in an easterly direction for a distance of thirty (30) feet to a plug, located eighty-two (82) feet north of the northwestern property corner of subject property; thence terminating.

ALSO, an 8" water line beginning at the aforesaid tee; thence extending in a southeasterly direction for a distance of fifty (50) feet to a bend located on subject property, forty-six (46) feet northeast of the northwestern property corner of subject property; thence turning and extending in an easterly direction crossing the subject parking lot, for a distance of one hundred forty-three (143) feet to a bend, located twenty-two and five tenths (22.5) feet northeast of the northernmost corner of an area depicted as "Covered Drive Thru" on the herein referenced drawings; thence a 6" water line extending in a southeasterly direction for a distance of twenty-one (21) feet to a fire hydrant, located twenty-one and five tenths (21.5) feet northeast of the northernmost corner of the aforesaid "Covered Drive Thru"; thence terminating.

ALSO, an 8" water line beginning at a tee on the aforescribed 8" water line located sixty-three (63) feet northwest of the northwestern corner of the aforesaid "Covered Drive Thru"; thence extending in a southerly direction for a distance of thirty-three (33) feet to a water meter and box, located forty-five (45) feet west of the northwestern corner of said "Covered Drive Thru"; thence terminating.



The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewer, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines and appurtenances heretofore described for the purpose of ingress, egress, operation and maintenance of said water lines. The grantor hereby agrees that no construction (including, but not limited to, buildings, paving, pipe lines or other utilities) will be allowed within the limits of this easement without prior approval of the City Engineer.

This conveyance also includes all water line easements shown on a set of record drawings prepared for Hunter Builders- Garner Lane Motel, in Richland County, near the City of Columbia, South Carolina, dated May 14, 1997, last revised February 18, 1999, prepared for Rasiklal A. Patel and Hansaben R. Patel, by R. M. Gaddy & Associates, Inc., Richard M. Gaddy, S.C.P.E. #4420, and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference #236-01.

These water lines are more clearly delineated on a set of record drawings for Hunter Builders- Garner Lane Motel, in Richland County, near the City of Columbia, South Carolina, dated May 14, 1997, last revised February 18, 1999, prepared for Rasiklal A. Patel and Hansaben R. Patel, by R. M. Gaddy & Associates, Inc., Richard M. Gaddy, S.C.P.E. #4420, and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference #236-01.

LS: jb D-260

*gln*



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against himself

or his heirs and against any other person lawfully claiming or to claim the same or any part thereof.

And They, Rasiklal A. Patel and Hansaben R. Patel, warrant that they are the lawful owner of said property and have the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 18th day of May, in the year of our Lord, One Thousand Nine Hundred and Ninety nine.

WITNESSES:

Janet L. Phillips

Margaret E. Hill

Rasiklal A. Patel  
RASIKLAL A. PATEL

Hansaben R. Patel  
HANSABEN R. PATEL

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF SUMTER )

The foregoing instrument was acknowledged before me this 18TH day of MAY, 1999 by the within-named Grantor.

W. Hansford

NOTARY PUBLIC FOR SOUTH CAROLINA

MY COMMISSION EXPIRES 10-15-2003







373  
Sheet  
31

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND ) DEED TO WATER LINES FOR ROYAL INN, RICHLAND COUNTY  
TAX MAP SHEET 7406, BLOCK 1, A PORTION OF LOT 14

HIRABHEI PATEL for ROYAL INN, INC.  
TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, he, by: Royal Inn, Inc.,  
Hirabhei Patel, its President,  
of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto  
The City of Columbia, its successors or assigns, all his right, title and  
interest in and to the below described water lines:

All those certain water lines, the same being 12" in diameter,  
including valves, valve boxes, fire hydrants, meter boxes, service lines to fire  
hydrants and meter boxes and all components and fittings to complete the system.

Beginning with a tie into an existing 8" water line on the north side  
of Longcreek Drive, thence extending in a generally northeasterly direction for a  
distance of approximately four feet, thence turning in a generally southwesterly  
direction and extending for a distance of approximately 70 feet, thence turning  
in a generally northwesterly direction and extending for a distance of  
approximately 317 feet, thence turning in a generally westerly direction and  
extending for a distance of approximately 115 feet, thence turning in a generally  
northwesterly direction and extending for a distance of approximately 55 feet,  
thence turning in a generally northerly direction and extending for a distance of  
approximately 86 feet, thence turning in a generally northeasterly direction and  
extending for a distance of approximately 46 feet, whence termination is made  
with a plug.

The Grantor hereby agrees to be responsible for repairs of all damage to  
water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants  
hereby conveyed which arise out of the operation of any equipment or vehicles under  
control of the Grantor or any other party in connection with the initial  
installation of streets, paving, curbs and gutters, drainage, sewer, utility lines,  
final grading or improvements in development of property served by said lines, and  
the Grantor shall either effect necessary repairs or reimburse the City for the  
cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines  
and appurtenances heretofore described for the purpose of ingress, egress,  
operation and maintenance of said water lines. The Grantor hereby agrees that no  
construction (including, but not limited to, buildings, paving, pipe lines or other  
utilities) will be allowed within the limits of this easement without prior  
approval of the City Engineer.

This conveyance also includes all easements shown on a set of as-built  
plans for Royal Inn, in Richland County, near Columbia, South Carolina, plans dated  
June 9, 1988, last revised August 14, 1990, prepared for Hirabhei Patel, by R. M.  
Gaddy and Associates, Inc., Richard M. Gaddy, P. E., and being on file in the  
office of the City's Director of Utilities and Engineering, Columbia, South  
Carolina under file reference #172-13.

These water lines are more clearly delineated on a set of as-built plans  
for Royal Inn, in Richland County, near Columbia, South Carolina, plans dated June  
9, 1988, last revised August 14, 1990, prepared for Hirabhei Patel, by R. M. Gaddy  
and Associates, Inc., Richard M. Gaddy, P. E., and being on file in the office of  
the City's Director of Utilities and Engineering, Columbia, South Carolina under  
file reference #172-13.



TO HAVE AND TO HOLD the said property unto the City of Columbia, its successors and assigns.

And he, Hirabhei Patel warrant(s)  
that he is the lawful owner of said property and has the  
right to convey same; and that the property is free and clear of any and all liens  
and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

WITNESS his hand and seal this 20th day of February,  
1991

Royal Inn, Inc.

By: 

Title: President HIRABHEI PATEL

WITNESSES

  
Allison Brown

STATE OF SOUTH CAROLINA )

COUNTY OF RICHLAND )

PERSONALLY APPEARED before me William H. Townsend and  
made oath that he saw the within named Hirabhei Patel  
sign, seal and as his act and deed deliver the within written instrument for  
the uses and purposes therein mentioned and that he with Allison Brown  
witnessed the execution thereof.



SWORN to before

me this 20th day of February, 1991.

Allison Brown (L.S.)  
Notary Public for South Carolina

My Commission Expires 9-3-95



Temporary and permanent grass plantings in meadows with the potential capacity of fertilization and translocation per 1,000 square feet.

From 1984 to 1986, 100,000

1) puzos izstrazajit	2) puzos izstrazajit
3) puzos izstrazajit	4) puzos izstrazajit
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75) puzos izstrazajit	76) puzos izstrazajit
77) puzos izstrazajit	78) puzos izstrazajit
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83) puzos izstrazajit	84) puzos izstrazajit
85) puzos izstrazajit	86) puzos izstrazajit
87) puzos izstrazajit	88) puzos izstrazajit
89) puzos izstrazajit	90) puzos izstrazajit
91) puzos izstrazajit	92) puzos izstrazajit
93) puzos izstrazajit	94) puzos izstrazajit
95) puzos izstrazajit	96) puzos izstrazajit
97) puzos izstrazajit	98) puzos izstrazajit
99) puzos izstrazajit	100) puzos izstrazajit

```

1 ground brownspotted
2 ground yellow horned
*1 ground Robin Green
31 ground 12-10-10 Fast Blue
41 ground 12-10-10

```

CLASS 14-25: BOTTLE

25 pounds: Dromedary (11)

75 pounds: Double (14)

15 pounds: (14) (14) (14) (14)

75 pounds: (14) (14) (14) (14)

all suggested testing of Division and nitrogen flow as full (100%) flow, 1-4 mm, to a total of 1,000 square feet of Nantux, less flow, 100% of any of the above mentioned. As the flow and flow, Division should be made outside, with all nitrogen amount, then 100 should be hydrocarbon.

\* *Public Enemy* is a good version of what often, because of problems more and more, which threaten to make worse. *Public Enemy* is a good version of what often, because of problems more and more, which threaten to make worse. *Public Enemy* is a good version of what often, because of problems more and more, which threaten to make worse.

[NOTE: Images of the dress in early spring will be interpreted to provide the first study of the costume worn during the festival. Notes on Dressing.]

THE CHIEF, 3RD BATTAL, 1ST BRIGADE  
FEDERAL POLICE, PORT KAITUMA  
P.O. BOX 100, PORT KAITUMA  
BRITISH GUINEA

Site T.B.M.  
"X" ON TOP OF CURB  
EGGY - 301.63 MEAN  
SEA LEVEL DATUM

"I hereby certify that this plan is designed to contain fills on the property concerned to the maximum extent feasible. Provisions for erosion and sediment control are in accordance with the Richland County Sediment Control Ordinance."

6-7-68  
BME

Registered Professional Engineer

"I [We] hereby certify that all clearing, grading, construction, and/or development will be done pursuant to this plan."

DHEC

Permit Applicant

OWNER SHALL ARRANGE FOR  
REMOVAL OF EXISTING BILLBOARD  
AND POWER LINE

Administrative Notes

14) DIMENSIONS SHOWN ARE TO BACK  
OF CURB WHERE APPLICABLE

15) METAL SHALL HAVE 37 RENTAL ROOMS  
37 PARKING SPACES ARE REQUIRED, 41  
PARKING SPACES ARE SHOWN.

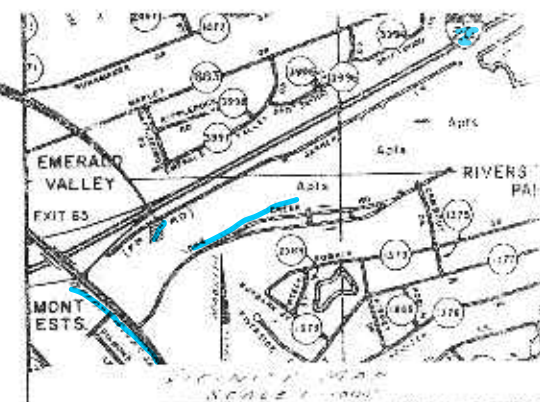
HER  
HEI FATEL  
VA NOTCH ROAD  
514 S. C. 29804

APPROVED

2nd C 107436-01-14

20 0 20  
 THE UNIVERSITY OF MICHIGAN LIBRARY

CF # 172-13600





RECEIVED

Aug 21 1990

CITY OF COLUMBIA  
UTILITIES & ENGINEERING DEPT.

LEGEND

②	PROPERTY CORNER
--EIS--	EXISTING CONVEYANCE
--S2--	EXISTING STORM DRAINAGE POLE
Q141	EXISTING MIDDLE
	PROPOSED RESIDENT PARKING
	PROPOSED CONCRETE SIDEWALK
x-224.5	PROPOSED SPOT ELEVATION
--E75--	PROPOSED TRUNKING GRADE
	PROPOSED SANITARY SEWER PIPE
--W--	PROPOSED WATER PIPE
	PROPOSED CONCRETE CURB & GUTTER
	PROPOSED TRUNKING SIDEWALK
	BARBER PARKING CONVEYANCE
100	EXISTING PUMP POLE
	EXISTING CONCRETE POLE

[illegible]

NUMBER	DATE	BY	DISPOSITION
7	2-19-70	SW	REMOVED TO SHOW "BE BUMP" PHOTO ADJUSTMENT INTO
6	10-31-69	OW	REMOVED FROM MAIN LAYOUT
5	10-16-69	OW	REMOVED FROM LAYOUT - REWORKED AND RE-ENTERED
4	6-10-69	OW	REMOVED FROM LAYOUT - REWORKED AND RE-ENTERED
3	10-26-68	OW	REMOVED FROM LAYOUT - REWORKED AND RE-ENTERED
2	7-7-68	OW	REMOVED FROM LAYOUT - REWORKED AND RE-ENTERED
1	7-6-68	OW	REMOVED FROM LAYOUT - REWORKED AND RE-ENTERED



ROYAL INN  
GARNER'S ROAD

- AS BUILT -  
WATER PLANS

R.M. GADDY AND ASSOCIATES, INC.  
CONSULTING ENGINEERS  
P.O. BOX 2927, COLUMBIA, S.C. 29205

DESTROYED BY  
F. G.  
MAY 19  
G. H.  
JANUARY 20  
F. G. H.  
F. G. H.  
F. G. H.  
F. G. H.  
F. G. H.  
F. G. H.



**TRACTS WITHIN PROJECT LIMITS WITH NO  
ANTICIPATED IMPACTS**



D 4C6 PAGE 341

Form No. 110- Title to Real Estate by a Corporation  
Revised 1939  
FILED

The State of South Carolina,  
COUNTY OF RICHLAND

Dec 9 9 37 AM '55  
RECORDED  
MESA, S.C.  
RICHLAND COUNTY, S.C.  
CLARA L. BARTLETT

214  
Sheet 23

KNOW ALL MEN BY THESE PRESENTS, That  
C. W. Haynes and Company, Incorporated

in the State aforesaid, FOR AND in consideration of the sum of  
-----No Consideration----- Dollars

to it in hand paid at and before the sealing of these presents, by City of Columbia South Carolina  
in the State aforesaid. (The receipt whereof is hereby acknowledged)

has granted, bargained, sold and released, and by these Presents does grant, bargain, sell and release, unto the said

CITY OF COLUMBIA SOUTH CAROLINA, ITS SUCCESSORS OR ASSIGNS, FOREVER:

All that certain piece, parcel or lot of land, situate, lying and being at the dead end of Marley Drive in the Dutchfork Section of Richland County, State of South Carolina, containing approximately seven and three-tenths (7.3) acres, and being the Western corner of the intersection of Interstate 20 and the Broad River. Said tract of land being all and only that property owned by the grantor herein lying Northeast of the Twenty-foot (20') Sanitary Sewer Easement located West of and running parallel to the Broad River. Said property being bounded and measuring as follows: On the North by Marley Drive and property now or formerly of Metz whereon it measures in a broken line approximately Nine Hundred Sixty-Eight (968) feet; On the East by the Broad River whereon it measures approximately Two Hundred Ninety-Two (292) feet; On the South by Interstate 20 whereon it measures approximately Nine Hundred Thirty-Eight (938) feet; On the West by a twenty foot (20') Sewer Easement (Land of the Grantor Herein) whereon it measures approximately Three Hundred Eighty-Eight (388) feet.

This property being given to the City of Columbia for use by the City of Columbia as it sees fit for the benefit and welfare of the citizens of the community.

BEING a portion of the property heretofore conveyed to The Great Southern Company by Deed of Julia Rose Paysinger, dated April 4, 1955, and recorded in the office of the Clerk of Court for Richland County, in Deed Book BF, at Page 1312.

The Great Southern Company being merged into C. W. Haynes and Company, Incorporated, by articles of merger dated March 3, 1965, and recorded in the office of the Clerk of Court for Richland County in the Book of Charters No. 4, at Page 52, and in Deed Book D-4, at Page 342.

Grantee's Mailing Address:

City of Columbia South Carolina  
P. O. Box 147  
Columbia, South Carolina 29202

D 4C6 PAGE 341



D 406 PAGE 342

TOGETHER with all and singular the Rights, Members, Hereditaments and Appurtenances to the said Premises belonging, or in anywise incident or appertaining.

TO HAVE AND TO HOLD, all and singular the said premises before mentioned unto the said City of Columbia South Carolina, its successors or ~~Minors~~ Assigns forever.

And the said C. W. Haynes and Company, does hereby bind itself  
Incorporated  
and its successors, to warrant and forever defend all and singular the said premises  
its successors or  
unto the said City of Columbia South Carolina, ~~Minors~~ Assigns, against itself and its successors  
and against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

IN WITNESS WHEREOF C. W. Haynes and Company, Incorporated has caused  
(Insert name of Corporation)  
these presents to be executed in its name by W. E. Sellars its  
(Insert name of President or Vice-President)  
President, and by R. B. Haynes its Secretary  
(Insert name of Secretary or Treasurer)  
and its corporate seal to be hereto affixed this 19th day of November  
in the year of our Lord, one thousand nine hundred and Seventy-six, and in the  
hundred and Two Hundred First year of the Sovereignty and Independence of the United  
States of America.

Signed, Sealed and Delivered  
in Presence of

Brenda K. Shady  
Witness

J. H. Fosterfield

C. W. HAYNES AND COMPANY, INCORPORATED

By W. E. Sellars President.

R. B. Haynes Secretary or Treasurer.

D 406 PAGE 342



The State of South Carolina,

COUNTY OF RICHLAND

PERSONALLY appeared before me Brenda L. Shealy  
 who, in oath, says that he saw the within-named C. W. Haynes and Company, Incorporated

by W. E. Sellars  
 President and R. B. Haynes Secretary

sign the within Deed, and the said Corporation, by said officers, and said Deed, and, as its act and deed, deliver the same, and that he with V. H. Porterfield  
 execution thereof, witnessed the

*Brenda L. Shealy*  
 (Witness)  
 A. D. 1976.

SWORN to before me, this 19th day of November

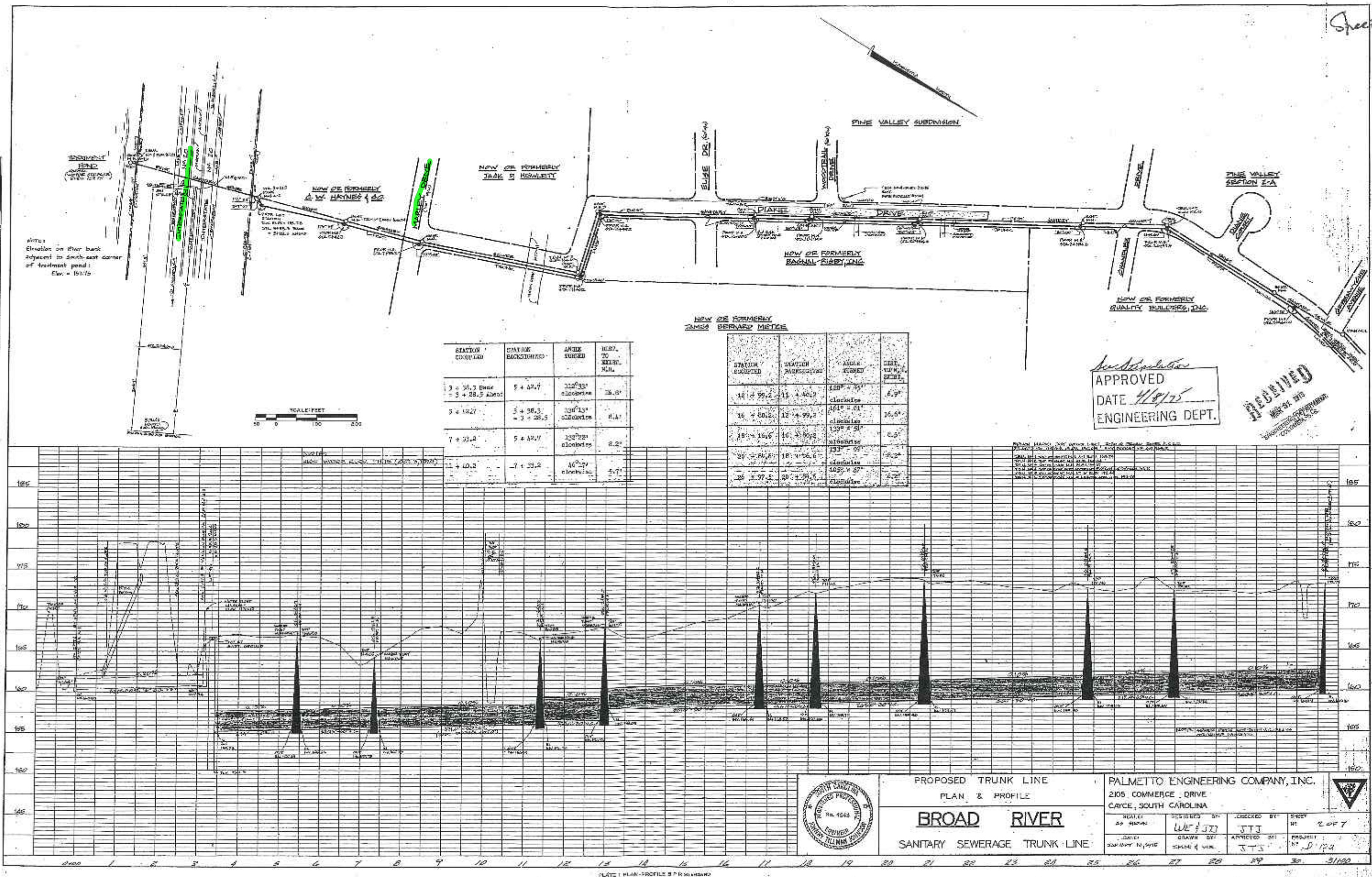
*Virginia H. Porterfield* (Seal)  
 My Commission expires 3-19-80

NOTARIAL SEAL



PLAN  
NOTES:  
1. ELEVATION ON RIVER BANK  
ADJACENT TO SOUTH-EAST CORNER  
OF TREATMENT POND:  
Elev. = 151.75

PROFILE  
NOTES:  
1. ELEVATION ON RIVER BANK  
ADJACENT TO SOUTH-EAST CORNER  
OF TREATMENT POND:  
Elev. = 151.75



APPROVED  
DATE 4/8/75  
ENGINEERING DEPT.

RECEIVED  
MAY 24 1975  
ENGINEERING DEPT.



PROPOSED TRUNK LINE  
PLAN & PROFILE  
**BROAD RIVER**  
SANITARY SEWERAGE TRUNK LINE

PALMETTO ENGINEERING COMPANY, INC.  
2105 COMMERCE DRIVE  
CAYCE, SOUTH CAROLINA

DESIGNED BY W.E. JST	CHECKED BY JTS	SHEET NO. 2 OF 7
DRAWN BY JTS	APPROVED BY JTS	PROJECT NO. D-129







D 577 PG 345

215  
Sheet  
23

STATE OF SOUTH CAROLINA )

EASEMENT

COUNTY OF RICHLAND )

In consideration of the sum of One (\$1) Dollar to ~~XXXXX~~ it in land paid by The City of Columbia, South Carolina, receipt of which is hereby acknowledged,

It, C. W. Haynes and Company

does hereby grant unto the said The City of Columbia, South Carolina, its successors or assigns, an easement and right-of-way 15 feet in width, with an additional width of 25 feet for construction purposes only, to construct, operate and maintain together with the right of ingress and egress at all times for the purpose of constructing, operating, and maintaining a water main and with the right to remove shrubbery, trees and other growth from the right-of-way and construction area provided that the property will be restored as nearly as practicable to its original condition upon completion of the construction and the damaged shrubbery and trees will be replaced with the same variety from nursery stock of a practicable size, said easement and right-of-way to run through the property which ~~XXXXX~~ owns or in which ~~XXXXX~~ has ~~XXXXX~~ an interest, situate, lying and being

In the State of South Carolina, County of Richland, northwest of the City of Columbia and being further identified as a portion of lot 10, block 2, sheet 541 of tax maps prepared by the office of the Richland County Tax Assessor, LR 12-79.

An easement, the centerline beginning on the northern property line seven and five tenths (7.5) feet east of the northwestern property corner and extending in a southerly direction, parallel to and seven and five tenths (7.5) feet east of the western property line for a distance of four hundred seventy one (471) feet, thence turning and extending in a southeasterly direction, away from the western property line, for a distance of forty (40) feet to intersect the southern property line forty six (46) feet east of the southwestern property corner, be all measurements a little more or less.

This easement is more clearly delineated on a plat of right-of-way to be obtained for a proposed ten inch water main from near Interstate Highway 20 to Marley Drive (S-46-83), CIP W25-9/0-G5, dated May 11, 1981, prepared by the Department of Engineering for the City of Columbia, South Carolina, and being on file in the office of the City Engineer under file reference 84-135.

H-19

D 577 PG 345



assigns, as aforesaid.

And the said [name] agrees to waive and release all his or her rights against himself or his heirs and assigns, and their personal representatives, claim the same or any part thereof.

IN WITNESS WHEREOF, W. E. Haynes and Company, Inc.  
this 21st day of May 1981, at Columbia, South Carolina  
and Eighty One.

WITNESSES:

Brenda L. Shealy  
R. H. Porterfield  
STATE OF SOUTH CAROLINA

C. W. HAYNES AND COMPANY, INC.  
By: R. E. Collins  
R. E. Collins, President  
attest

COUNTY OF RICHLAND

PERSONALLY APPEARED before me Brenda L. Shealy and none  
oath that she he saw the within-named C. W. Haynes and Company, Inc., by  
R. E. Collins, its President  
sign, seal, and as their act and deed deliver the within-written instrument  
for the uses and purposes therein mentioned and that R. H. Porterfield  
witnesses the execution thereof.

SWORN to before me this 21st

day of May, 19 81.

R. H. Porterfield (L.S.)  
NOTARY PUBLIC FOR SOUTH CAROLINA  
MY COMMISSION EXPIRES 2-26-90

STATE OF SOUTH CAROLINA

COUNTY OF

HYPERLATION OF DUNE - NOT NECESSARY

I, Brenda L. Shealy, a Notary Public for South Carolina, do  
certify unto all whom it may concern, that Mrs. Brenda L. Shealy, wife  
of the within-named C. W. Haynes and Company, Inc. and this day appear before me, and  
upon being privately and separately examined by me, she declares that she does so freely,  
voluntarily, and without any compulsion, dread, or fear of any person or persons whom  
soever renounce, release and forever relinquish unto the within-named, the City of  
Columbia, its successors and assigns, all her interest and estate, and all her  
right and claim of power, of, in, or to all and singular the premises within mentioned  
and released.



D 577 pg 347

Given under my hand and seal this \_\_\_\_\_

\_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_

NOTARY PUBLIC FOR SOUTH CAROLINA  
MY COMMISSION EXPIRES \_\_\_\_\_

STATE OF SOUTH CAROLINA )

COUNTY OF RICHLAND )

MORTGAGE RELEASE

KNOW ALL MEN BY THESE PRESENTS THAT \_\_\_\_\_

\_\_\_\_\_ for certain valuable consideration do hereby release and quitclaim  
from the lien and operation of a mortgage recorded in the office of the Clerk of Court for  
Richland County in Mortgage Book \_\_\_\_\_ at Page \_\_\_\_\_ the right-of-way contained by  
the within easement so that the said right-of-way shall be free and unaffected by said  
mortgage.

WITNESS \_\_\_\_\_ hand and seal this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_

In the presence of

STATE OF SOUTH CAROLINA )

COUNTY OF RICHLAND )

PERSONALLY APPEARED before me \_\_\_\_\_ and made oath that he  
saw the within-named \_\_\_\_\_ sign, seal and  
as \_\_\_\_\_ act and deed deliver the within written instrument for the uses and purposes  
therein mentioned and that he with \_\_\_\_\_ witnesses the execution  
thereof.

SWORN to before me this \_\_\_\_\_

day of \_\_\_\_\_, 19\_\_\_\_

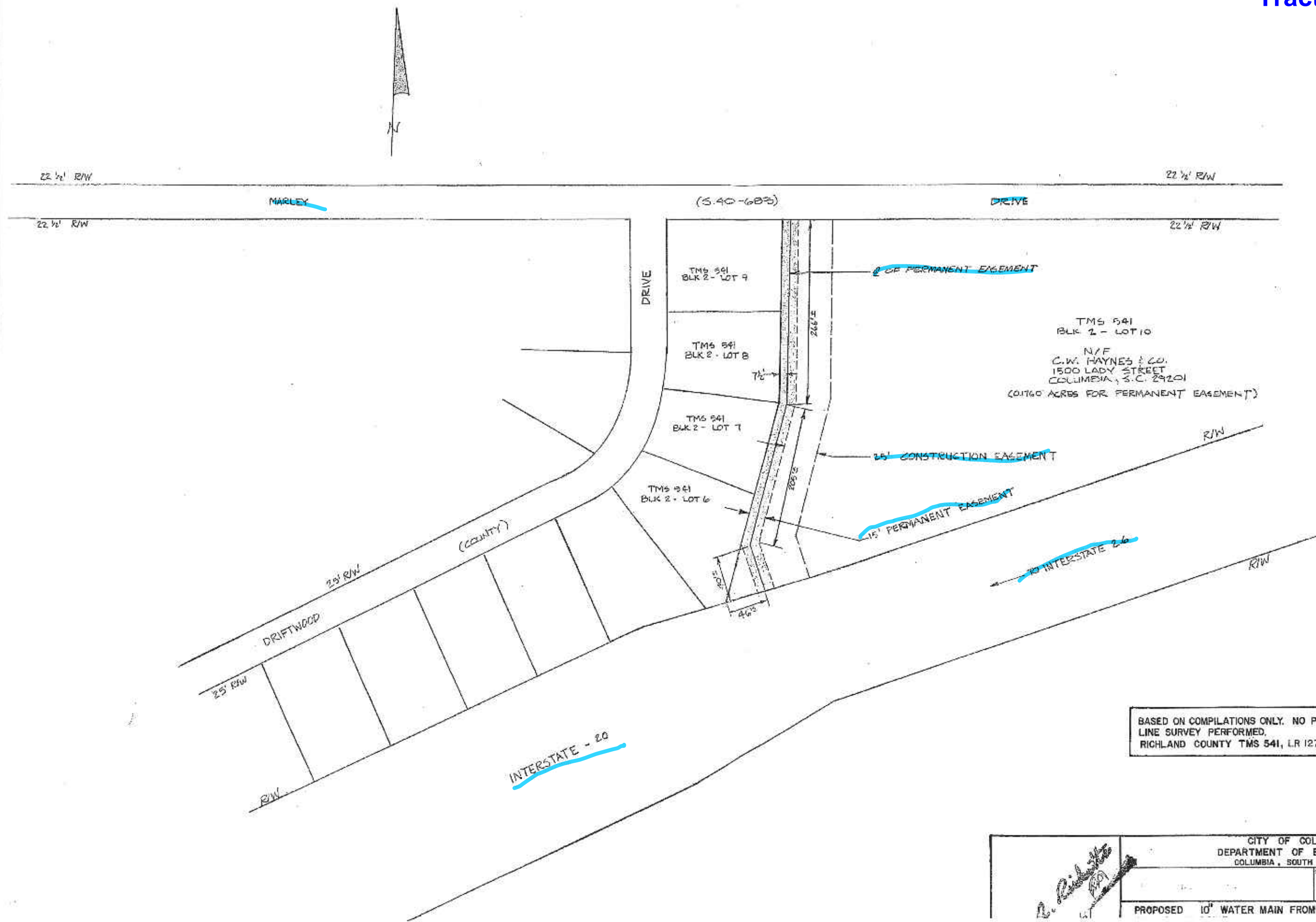
(L.S.)

D 577 pg 347



CF #84-135

Tract #250

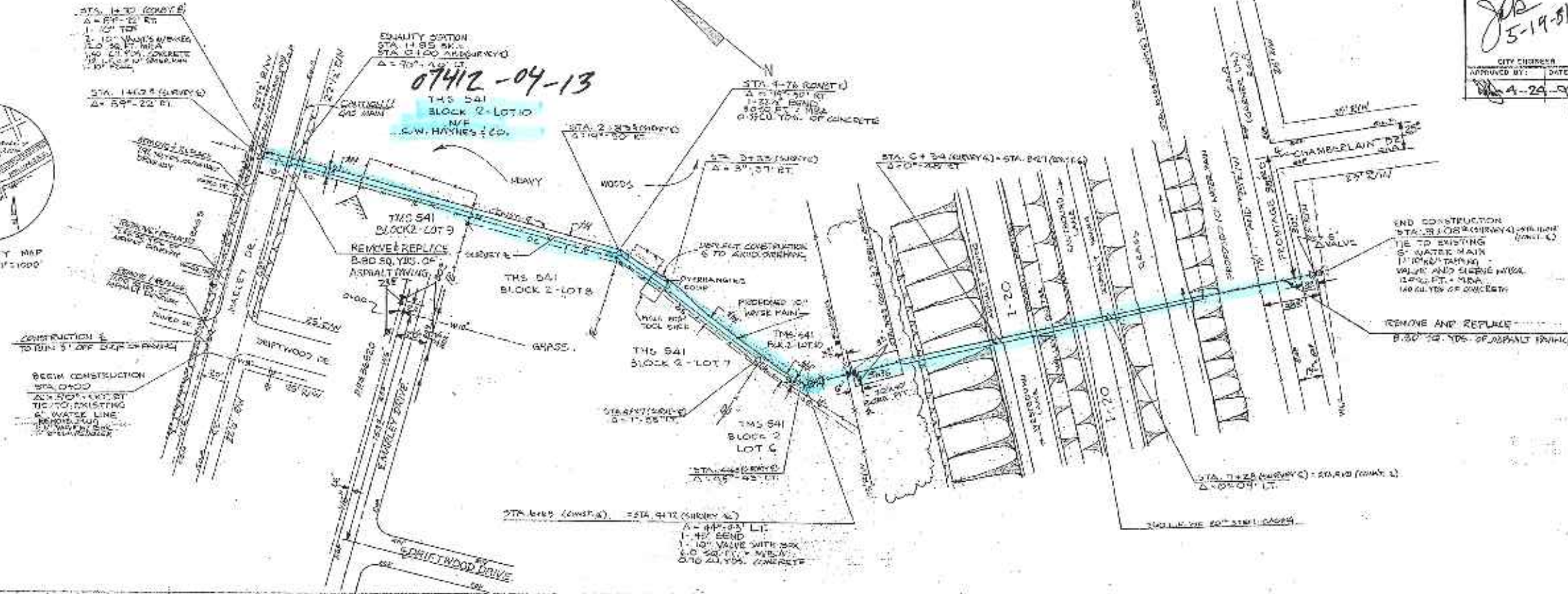


84-135



1- EASEMENT PLAT  
2- SOUTH CAROLINA HIGHWAY DEPARTMENT ENCROACHMENT PERMITS  
3- RAILROAD ENCROACHMENT PERMITS

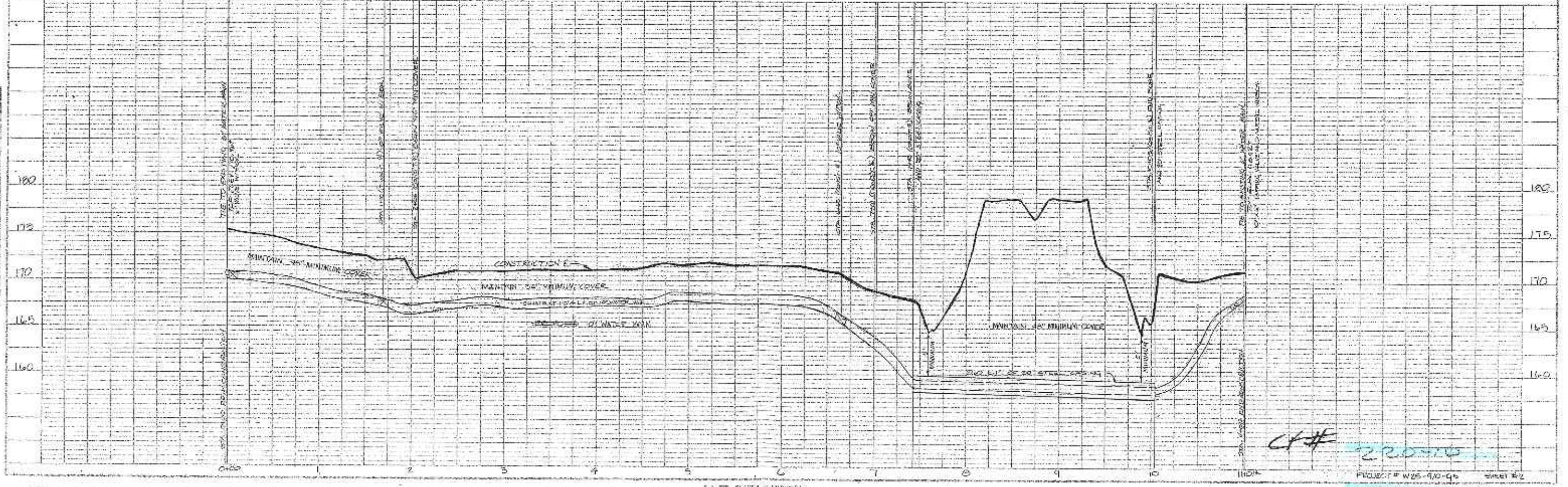
CITY OF COLUMBIA DEPARTMENT OF ENGINEERING			
DESIGNED BY	DATE	REVISION	DATE
JOHN 5-19-81	4-24-88	1	2-1-88
PROJECT NAME AND DESCRIPTION		DRAWN BY	
REMOVED TO SHOW RECORD DRAWINGS		JED/SK	
(INFORMATION TAKEN FROM MARKED-UP PRINTS)			



**SPECIAL ITEMS THIS SHEET**  
1- REMOVE AND REPLACE 3" DIA. 10' LONG ASPHALT DRIVEWAY  
2- REMOVE AND REPLACE 12" DIA. 10' LONG ASPHALT DRIVEWAY  
3- 3" DIA. 10' LONG ASPHALT DRIVEWAY  
4- REMOVE ALL EXISTING ASPHALT DRIVEWAYS BEFORE BEGINNING CONSTRUCTION  
5- CONSTRUCTION IS TO BE OFF EDGE OF PAVING FROM STATION 1+00 TO STATION 1+100  
6- THE 12" DIA. 10' LONG ASPHALT DRIVEWAY IS TO BE EXTENDED TO STATION 1+100 TO STATION 1+200  
7- MAINTAIN 4" MINIMUM COVER

**BENCHMARK**  
1- BENT 4" DIA. 10' LONG ASPHALT DRIVEWAY NORTH SIDE MARLEY DR. @ DRIFTWOOD RD. ELEV. = 174.5 (M.S.L.)  
2- BENT ON HIGH HYDRANT POINT SOUTH WEST CORNER OF ENTRANCE TO CARMAROCK APARTMENTS AND FRONTAGE RD. ELEV. = 174.5 (M.S.L.)

**SCALE**  
HORIZONTAL : 1" = 50'  
VERTICAL : 1" = 5'



RECORD DRAWINGS



DBK. 1015 PAGE 0584

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND ) DEED TO SANITARY SEWER LINES FOR ROYAL INN,  
RICHLAND COUNTY TAX MAP SHEET 7406, BLOCK 1,  
PORTION OF LOT 14

HIRABHEI PATEL and ROYAL INN, INC.

TO  
THE CITY OF COLUMBIA

JAN 11 1991  
RECORDED  
CLERK OF RICHLAND COUNTY

373a  
Sheet  
31+32

FOR VALUE RECEIVED, he, Hirabhei Patel and Royal Inn, Inc.  
of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto  
The City of Columbia, its successors or assigns, all his right, title and  
interest in and to the below described sanitary sewer lines:

All those certain sanitary sewer lines, the same being 8" in diameter,  
including manholes, manhole castings, service lines to easement boundaries and all  
components to complete the system.

Beginning with a tie into an existing manhole with a rim elevation of  
263.10 feet, located on the north side of Longcreek Drive, thence extending in a  
generally northwesterly direction through Manholes 1-A and 2-A for a distance of  
approximately three hundred forty (340) feet, whence termination is made with  
Manhole 3-A.

The Grantor hereby agrees to be responsible for repairs of all damage to  
water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants  
hereby conveyed which arise out of the operation of any equipment or vehicles under  
control of the Grantor or any other party in connection with the initial  
installation of streets, paving, curbs and gutters, drainage, sewer, utility lines,  
final grading or improvements in development of property served by said lines, and  
the Grantor shall either effect necessary repairs or reimburse the City for the  
cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all sanitary sewer  
lines and appurtenances heretofore described for the purpose of ingress, egress,  
operation and maintenance of said sanitary sewer lines. The Grantor hereby agrees  
that no construction (including, but not limited to, buildings, paving, pipe lines  
or other utilities) will be allowed within the limits of this easement without  
prior approval of the City Engineer.

This conveyance also includes all easements shown on a set of as-built  
plans for Royal Inn, in Richland County, near Columbia, South Carolina, plans dated  
June 9, 1988, last revised August 14, 1990, prepared for Hirabhei Patel, by R. M.  
Gaddy and Associates, Inc., Richard M. Gaddy, P. E., and being on file in the  
office of the City's Director of Utilities and Engineering, Columbia, South  
Carolina under file reference #172-13.

These sanitary sewer lines are more clearly delineated on a set of as-  
built plans for Royal Inn, in Richland County, near Columbia, South Carolina, plans  
dated June 9, 1988, last revised August 14, 1990, prepared for Hirabhei Patel, by  
R. M. Gaddy and Associates, Inc., Richard M. Gaddy, P. E., and being on file in the  
office of the City's Director of Utilities and Engineering, Columbia, South  
Carolina under file reference #172-13.

WR:pw D-XVIII-9

PROPERTY ADDRESS: 1323 Garner Lane, Columbia, SC 29210

DBK. 1015 PAGE 0584

8  
7



TO HAVE AND TO HOLD the said property unto the City of Columbia, its successors and assigns.

And he, Hirabhei Patel and Royal Inn, Inc. warrant(s) that he is the lawful owner of said property and has the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

WITNESS his hand and seal this 8th day of October, 1990, HIRABHEI PATEL, individually and ROYAL INN, INC. by Hirabhei Patel, its President

Hirabhei V. Patel  
Title:

WITNESSES

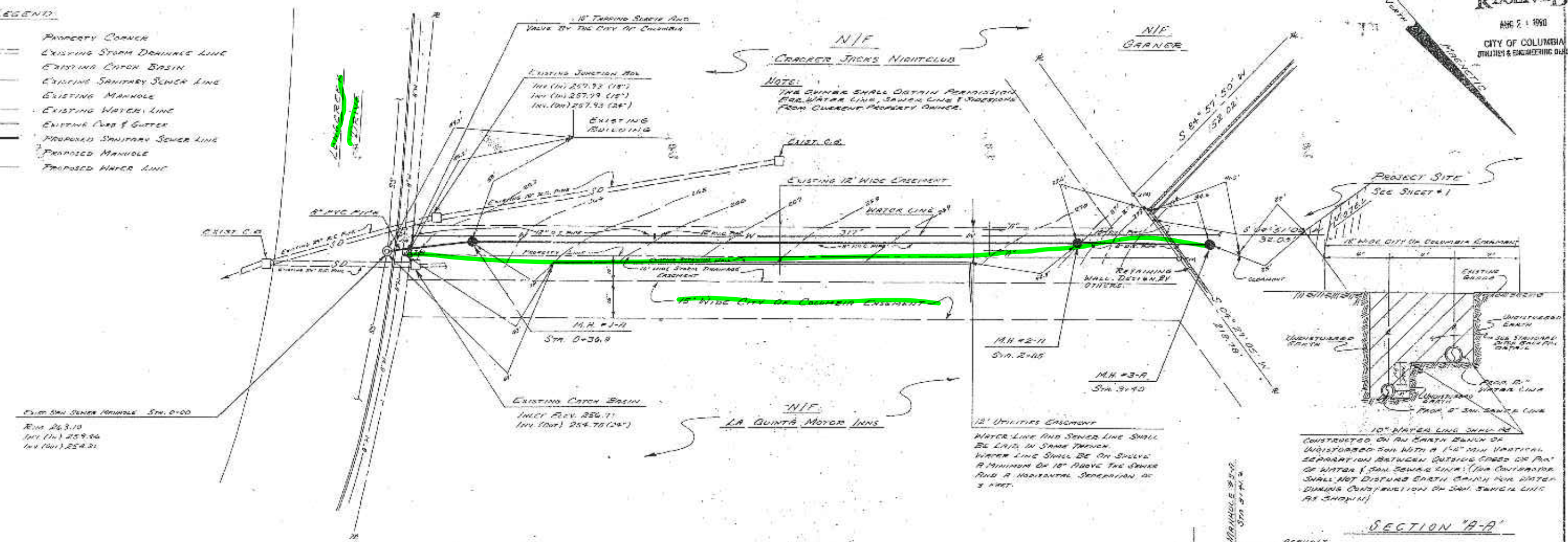
Randall C. Grant  
William H. Townsend  
STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me Randall C. Grant and made oath that he saw the within named Hirabhei Patel / Royal Inn, Inc. sign, seal and as its act and deed deliver the within written instrument for the uses and purposes therein mentioned and that he with William H. Townsend witnessed the execution thereof.

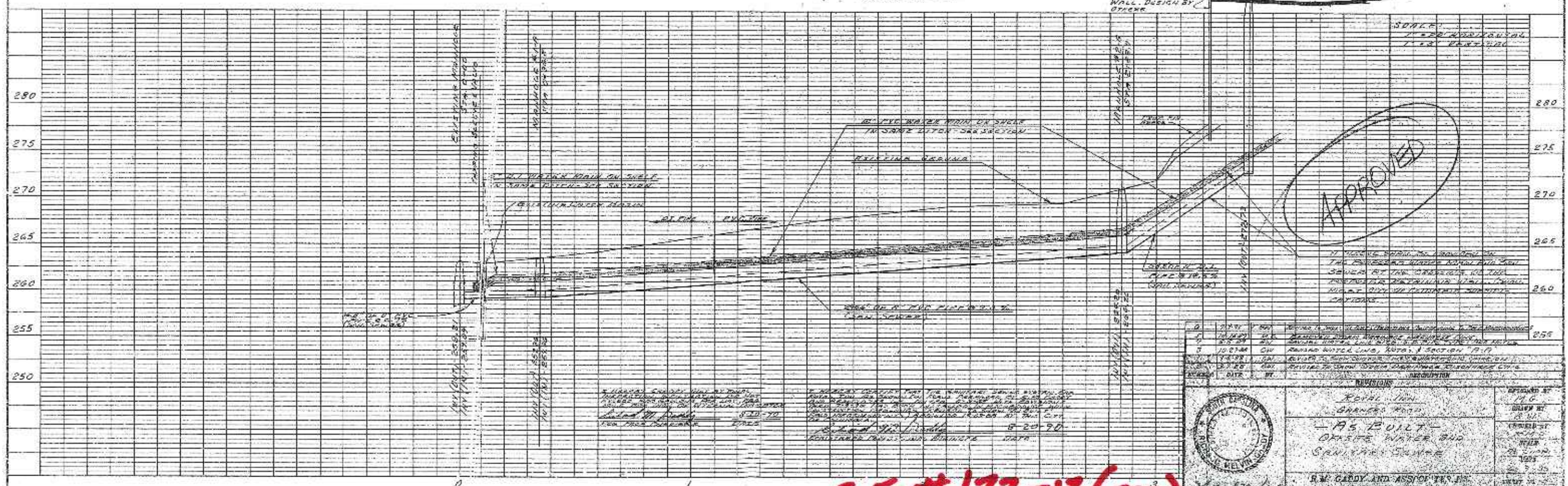
SWORN to before me this 8th day of October, 1990, William H. Townsend (L.S.)  
Notary Public for South Carolina  
My Commission Expires December 18, 1990



- LEGEND**
- PC PROPERTY CORNER
  - SD EXISTING STORM DRAINAGE LINE
  - CB EXISTING CATCH BASIN
  - SS EXISTING SANITARY SEWER LINE
  - EM EXISTING MANHOLE
  - EW EXISTING WATER LINE
  - EWG EXISTING CURB & GUTTER
  - PSW PROPOSED SANITARY SEWER LINE
  - PM PROPOSED MANHOLE
  - PL PROPOSED WATER LINE



SCALE: 1" = 20'



CF #172-13(002)



#365

# 8460

5/16/99  
31

STATE OF SOUTH CAROLINA ) DEED TO SANITARY SEWER LINE EXTENSION ALONG  
LONG CREEK DRIVE TO BROAD RIVER ROAD TO SERVE  
DR. JOSEPH S. MACK, D.D.S., RICHLAND COUNTY  
TMS #07401-06- 17

Tract 274

COUNTY OF RICHLAND )

JOSEPH S. MACK, JR.

Book 00312-0257  
Deed  
Fee: \$0.00 County Tax: \$0.00 State Tax: \$0.00

TO



THE CITY OF COLUMBIA

FOR VALUE RECEIVED, I, Joseph S. Mack, Jr., of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all my right, title and interest in and to the below described sanitary sewer line:

All those certain sanitary sewer lines, the same being 8" in diameter including manholes, manhole castings, service lines to easement boundaries and all components to complete the system.

All metes, courses, bounds and measured distances described herein are approximate. The precise metes, courses, bounds and measured distances are more particularly described and shown on C.P. #245-15, which is incorporated herein by specific reference thereto.

An 8" sanitary sewer line beginning at manhole #1, located over an existing City of Columbia sanitary sewer line in the northern right-of-way of Long Creek Drive (S 40 2590), approximately three hundred twelve (312) feet east of the eastern right-of-way boundary of Broad River Road, and approximately twenty-two (22) feet south of the northern right-of-way boundary of Long Creek Drive; thence extending in a westerly direction along Long Creek Drive, for a distance of one hundred thirty-seven (137) feet to manhole #2, located approximately twelve and three tenths (12.3) feet south of the northern right-of-way boundary of Long Creek Drive; thence extending in a westerly direction, for a distance of one hundred thirty-six (136) feet to manhole #3, located fifteen and two tenths (15.2) feet south of the northern right-of-way boundary of Long Creek Drive; thence extending in a westerly direction, crossing Broad River Road, for a distance of one hundred twenty-three (123) feet to manhole #4, located on Richland County TMS #07401-06-17, approximately ten (10) feet west of the western right-of-way boundary of Broad River Road; thence terminating.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewer, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.



This conveyance also includes an exclusive easement on all sanitary sewer lines and appurtenances heretofore described for the purpose of ingress, egress, operation and maintenance of said sanitary sewer lines. The grantor hereby agrees that no construction (including, but not limited to, buildings, paving, pipe lines or other utilities) will be allowed within the limits of this easement without prior approval of the City Engineer.

This conveyance also includes all sanitary sewer easements shown on a set of record drawings prepared for Sewer System Extension to Broad River Road, in Richland County and in the City of Columbia, South Carolina, dated January 24, 1999, last revised May 14, 1999, prepared for Joseph S. Mack, D.D.S., by V&K Design Group, Inc., Carlos E. Cometto, S.C.P.E. #11380, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #245-15.

These sanitary sewer lines are more clearly delineated on a set of record drawings for Sewer System Extension to Broad River Road, in Richland County and in the City of Columbia, South Carolina, dated January 24, 1999, last revised May 14, 1999, prepared for Joseph S. Mack, D.D.S., by V&K Design Group, Inc., Carlos E. Cometto, S.C.P.E. #11380, and being on file in the office of the City's Director of Engineering, Columbia, South Carolina under file reference #245-15.



TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the Grantor agrees to warrant and forever defend the above grantee rights against himself or his heirs and against any other person lawfully claiming or to claim the same or any part thereof.

And I, Joseph S. Mack, Jr. warrant that I am the lawful owner of said property and have the right to convey same; And that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 1<sup>st</sup> day of June, in the year of our Lord, One Thousand Nine Hundred and Ninety-nine 1999.

WITNESSES:

David D. Dwyer  
Suzanne B. Leitner

JOSEPH S. MACK, JR.

Joseph S. Mack, Jr.

STATE OF SOUTH CAROLINA )

ACKNOWLEDGMENT

COUNTY OF Richland

The foregoing instrument was acknowledged before me this 1<sup>st</sup> day of June, 1999 by the within-named Grantor.

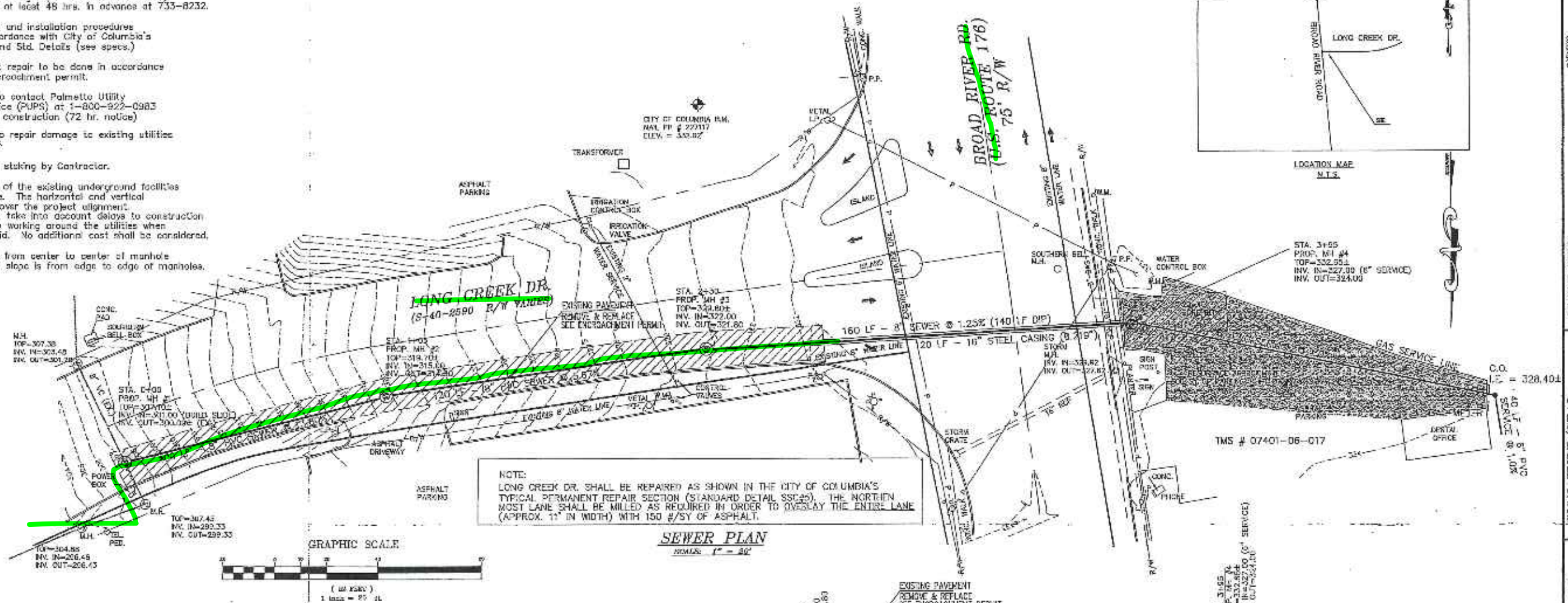
Suzanne B. Leitner  
NOTARY PUBLIC FOR South Carolina

MY COMMISSION EXPIRES 03/17/2002



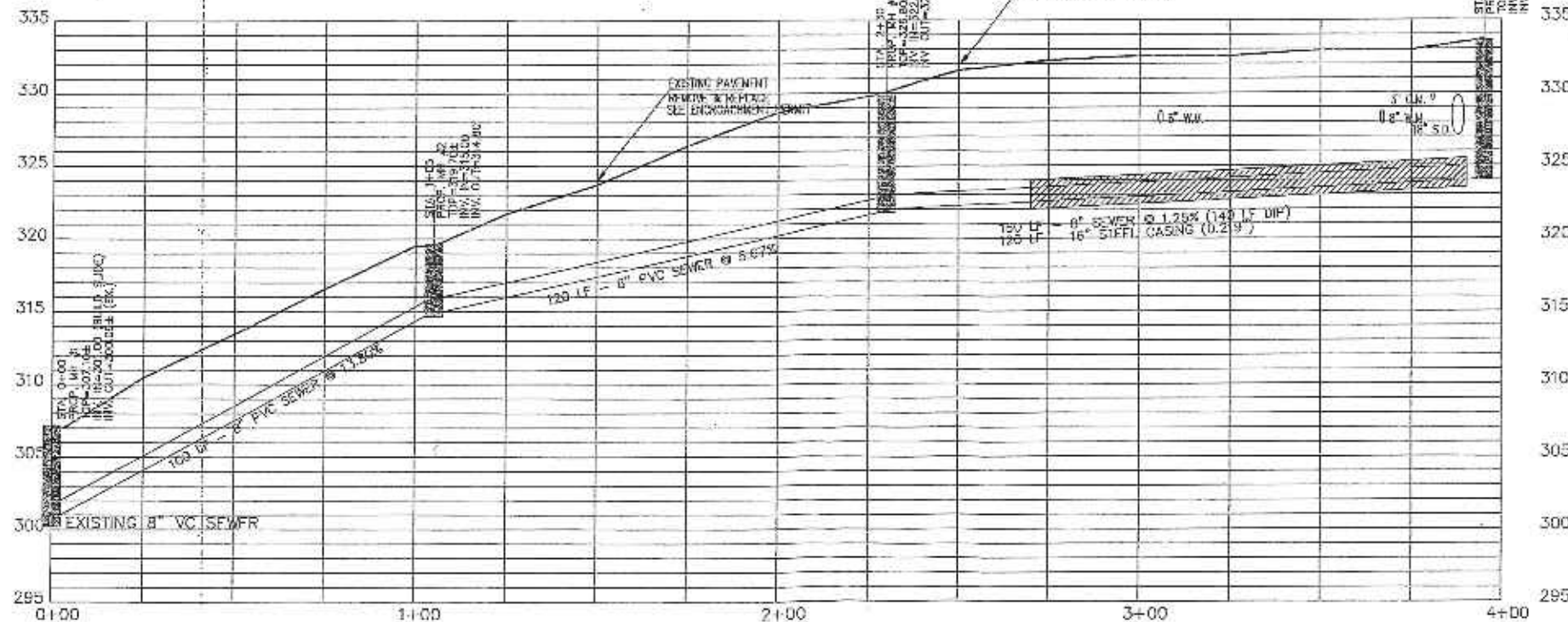
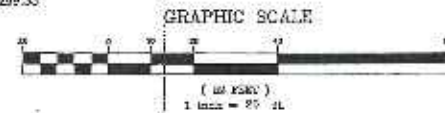
# GENERAL NOTES

1. Connection to existing manholes to be done by contractor under supervision of the City of Columbia Utilities & Engineering Dept. Contractor to notify scheduled work at least 48 hrs. in advance at 733-8232.
2. All materials and installation procedures shall be in accordance with City of Columbia's specifications and Std. Details (see specs.)
3. All pavement repair to be done in accordance with SCDOT encroachment permit.
4. Contractor to contact Palmetto Utility Protection Service (PUPS) at 1-800-922-0983 before start of construction (72 hr. notice)
5. Contractor to repair damage to existing utilities at own expense.
6. Construction staking by Contractor.
7. The location of the existing underground facilities are approximate. The horizontal and vertical location varies over the project alignment. Contractor shall take into account delays to construction progress due to working around the utilities when preparing the bid. No additional cost shall be considered.
8. Stationing is from center to center of manhole. Pipe length and slope is from edge to edge of manholes.



NOTE:  
LONG CREEK DR. SHALL BE REPAIRED AS SHOWN IN THE CITY OF COLUMBIA'S  
TYPICAL PERMANENT REPAIR SECTION (STANDARD DETAIL SSC45). THE NORTHERN  
MOST LANE SHALL BE MILLED AS REQUIRED IN ORDER TO OVERLAY THE ENTIRE LANE  
(APPROX. 11' IN WIDTH) WITH 150 #/SY OF ASPHALT.

SEWER PLAN  
SCALE: 1" = 20'



SEWER PLAN  
SCALE: 1" = 20' (H)  
SCALE: 1" = 8' (V)

APPROVED

## RECORD DRAWING INFORMATION

Contractor shall provide marked-up plans showing tie-down locations (and invert elevations) of all manholes and services to permanent structures. A minimum of two tie-down dimensions are required.

**V & K DESIGN GROUP, INC.**  
CONSULTING ENGINEERS & PLANNERS  
1043 EAST ROAD, LEXINGTON, S.C. 29073-9048  
(803) 569-0868  
PLANS 57  
SHEET 1 OF 1  
FILE: 9902

DATE: 08/24/99  
SCALE: AS SHOWN  
DESIGN: 08/24/99  
CHECK: 08/24/99  
APPROVED: 08/24/99  
DATE: 08/24/99  
SCALE: AS SHOWN  
DESIGN: 08/24/99  
CHECK: 08/24/99  
APPROVED: 08/24/99

SIGNATURE/SEAL  
CITY OF COLUMBIA  
ENGINEER  
COLUMBIA, SC

PROJECT  
SEWER SYSTEM EXTENSION  
TO BROAD RIVER ROAD  
Richard County, South Carolina

DRAWN BY  
JOSEPH S. MACK, D.D.S.  
2007 BROAD RIVER ROAD  
COLUMBIA, SC 29210  
(803) 772-1548



Do not anticipate impacts

D 258 PAGE 504

359  
SHEET 31

Tract 285

STATE OF SOUTH CAROLINA

FILED IN Water Lines (Sam Solomon Store)

COUNTY OF RICHLAND

Wyman Boozer Realty Co., Inc., Owner  
Newland Development Co., Lessee,

TO  
THE CITY OF COLUMBIA

OCT 6 1 05 PM '72  
S. C. S. C. S. C.

CONVEYANCE BY DEED OF Wyman Boozer Realty Co., Inc.

of Columbia, South Carolina, 4-1/2 acres, more or less, situate, transfer and convey unto  
the City of Columbia, its successors or assigns, all its right, title and interest in  
and to the below described water lines.

All those certain water lines, the same being eight (8) inches and six (6) inches in diameter,  
including valves, valve boxes, hydrants, service lines run from main lines to meter sites  
and all fittings.

Beginning at the City's water line on Broad River Road at the entrance road to Sam Solomon  
Store complex and running in a southwesterly direction a distance of three hundred fifteen  
(315) feet, more or less, along the entrance road; thence, turning and running in a southwest-  
erly direction along an access road, a distance of eight hundred sixty (860) feet, more or  
less, and connecting to a City water line in Bakersfield Road.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer  
lines, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise  
out of the operation of any equipment or vehicles under control of the Grantor or any other  
party in connection with the initial installation of streets, paving, curbs and gutters,  
drainage, sewers utility lines, final grading or improvements in development of property  
served by said lines, and the Grantor shall either effect necessary repairs or reimburse  
the City for the cost of repairs at the option of the City.

It is further understood and agreed that Newland Development Co., the Lessee of property  
known as Sam Solomon Store, its successors or assigns, does hereby grant unto the City  
of Columbia, its successors and assigns, the right, privilege, and authority of ingress and  
egress at all times for the purpose of operating and maintaining all water lines, valves,  
hydrants, service lines and meters as described above; situate, lying and being within  
the boundaries of property owned by Wyman Boozer Realty Co., Inc.  
These water lines are more clearly delineated on a plat of Sam Solomon Store, Richland County,  
near Columbia, S.C., prepared by Leon Campbell & Associates, dated Sept. 22, 1972, on file  
in the office of the City Engineer, Columbia, S.C.

SUCCESSORS AND ASSIGNS

And \_\_\_\_\_, Wyman Boozer Realty Co., Inc., warrants that  
it is the lawful owner of said property and has the right to convey same,  
and that the property conveyed is free and clear of any and all liens and encumbrances  
of whatsoever kind or nature.

WITNESSES our hands and seals this 3rd day of October, 1972.

WYMAN BOOZER REALTY CO., INC.

By: [Signature]  
Wyman Boozer, Owner

NEWLAND DEVELOPMENT CO.

By: [Signature]  
J. J. Federal, Vice President  
Lessee

D 258 PAGE 504

Witnesses:  
A. J. Zinsmeister  
Admiral J. Zinsmeister  
A. J. Zinsmeister  
Admiral J. Zinsmeister



D 258 PAGE 505

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me A. F. Quisenberry and made oath that he saw the within named Wyman Boozer Realty Co., Inc. by Wyman Boozer, Owner, sign, seal and as its act and deed deliver the within written instrument for the uses and purposes therein mentioned and that he with Barbara B. Padgett witnessed the execution thereof.

A. F. Quisenberry

SWORN to before

me this 2nd day of October, 1972.

Barbara B. Padgett (L.S.)  
Notary Public for South Carolina.

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me A. F. Quisenberry and made oath that he saw the within named Newland Development Co., by I. J. Futral, Vice President (Lessee) sign, seal and as its act and deed deliver the within written instrument for the uses and purposes therein mentioned and that he with Barbara B. Padgett witnessed the execution thereof.

A. F. Quisenberry

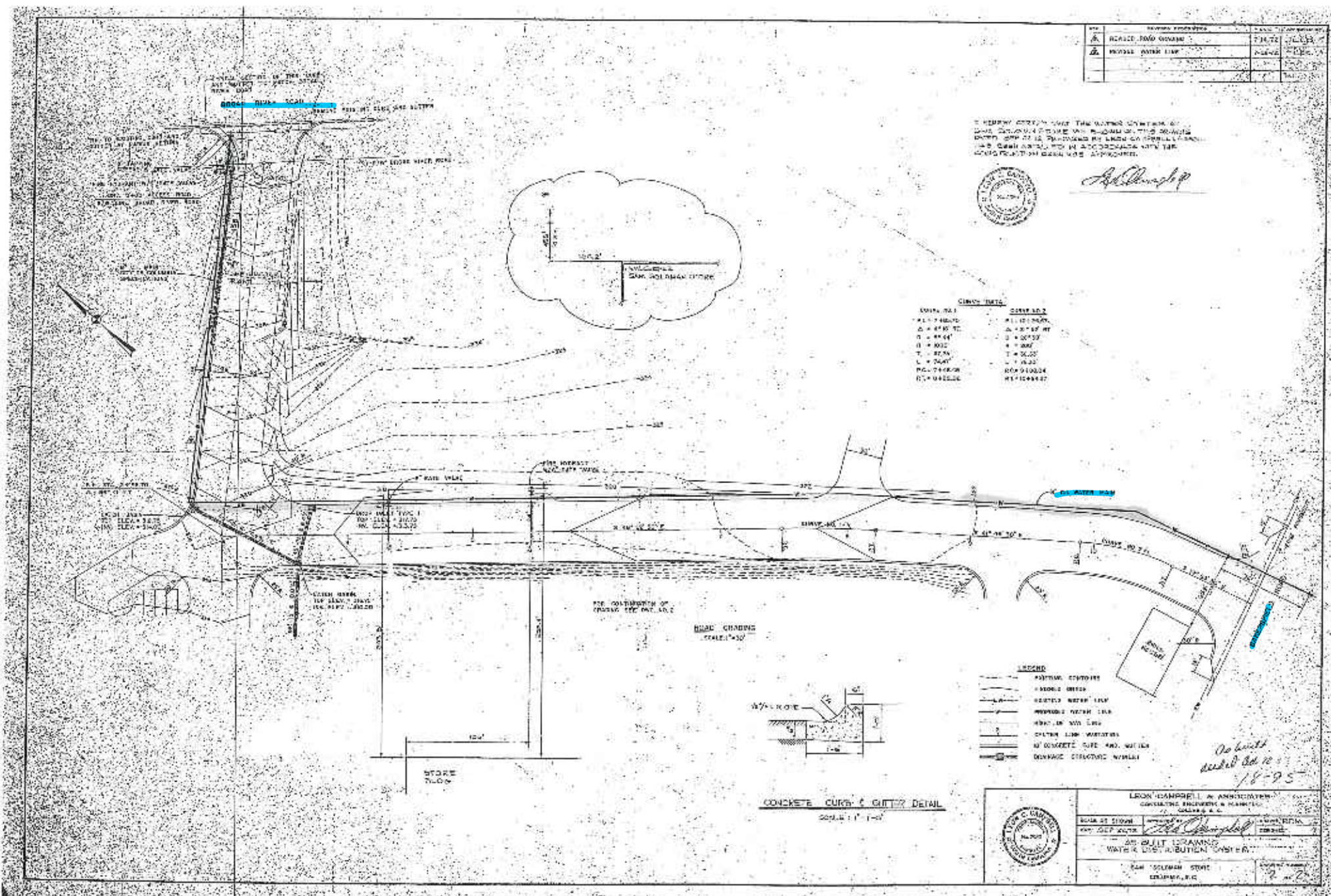
SWORN to before me

this 2nd day of October, 1972.

Barbara B. Padgett (L.S.)  
Notary Public for South Carolina.

D 258 PAGE 505





ITEM	QUANTITY	UNIT
1. 10" WATER MAIN	1.00	LINEAL FEET
2. 8" WATER MAIN	1.00	LINEAL FEET
3. 6" WATER MAIN	1.00	LINEAL FEET
4. 4" WATER MAIN	1.00	LINEAL FEET
5. 2" WATER MAIN	1.00	LINEAL FEET
6. 1" WATER MAIN	1.00	LINEAL FEET
7. 1/2" WATER MAIN	1.00	LINEAL FEET
8. 3/4" WATER MAIN	1.00	LINEAL FEET
9. 1" WATER MAIN	1.00	LINEAL FEET
10. 1/2" WATER MAIN	1.00	LINEAL FEET

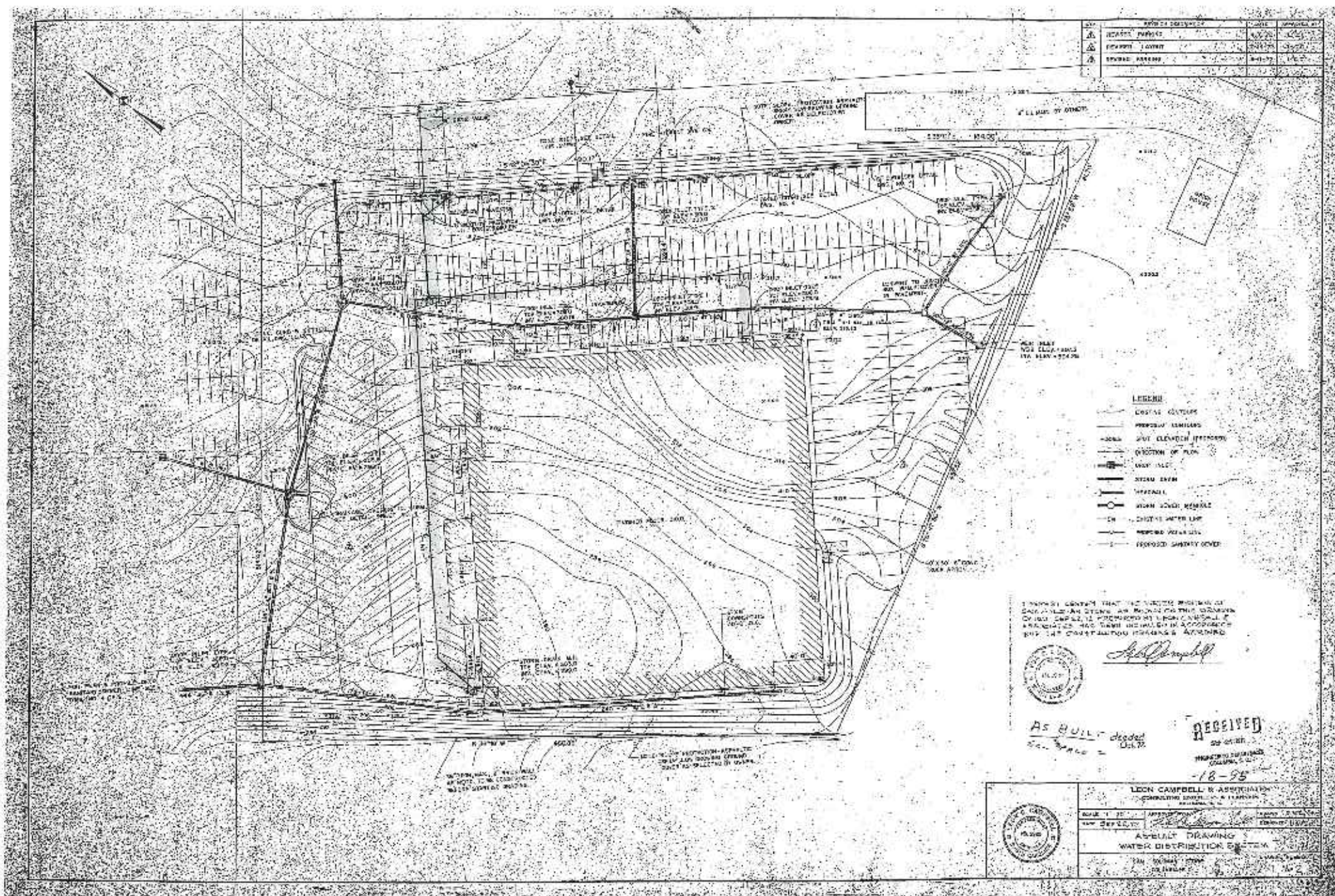
THESE NOTES GOVERN THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT LOCATION AND DEPTH OF ALL PIPES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES.

ITEM	QUANTITY	UNIT
1. 10" WATER MAIN	1.00	LINEAL FEET
2. 8" WATER MAIN	1.00	LINEAL FEET
3. 6" WATER MAIN	1.00	LINEAL FEET
4. 4" WATER MAIN	1.00	LINEAL FEET
5. 2" WATER MAIN	1.00	LINEAL FEET
6. 1" WATER MAIN	1.00	LINEAL FEET
7. 1/2" WATER MAIN	1.00	LINEAL FEET
8. 3/4" WATER MAIN	1.00	LINEAL FEET
9. 1" WATER MAIN	1.00	LINEAL FEET
10. 1/2" WATER MAIN	1.00	LINEAL FEET

- 1. 10" WATER MAIN
- 2. 8" WATER MAIN
- 3. 6" WATER MAIN
- 4. 4" WATER MAIN
- 5. 2" WATER MAIN
- 6. 1" WATER MAIN
- 7. 1/2" WATER MAIN
- 8. 3/4" WATER MAIN
- 9. 1" WATER MAIN
- 10. 1/2" WATER MAIN

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8. 3/4" WATER MAIN	1.00	LINEAL FEET
9. 1" WATER MAIN	1.00	LINEAL FEET
10. 1/2" WATER MAIN	1.00	LINEAL FEET







DC925 PAGE 815

217  
Sheet  
23+28STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

## EASEMENT



FILED IN MAR 11 1988

MAR -1 1988

KNOW ALL MEN BY THESE PRESENTS:

THAT FOR AND IN CONSIDERATION of the sum of One and No/100 (00) Limited Partnership Dollar to Shelter Properties III ("Grantor") in hand paid by Columbia Golf Center ("Grantee"), receipt of which is hereby acknowledged, Shelter Properties III Limited Partnership does hereby grant unto the said Columbia Golf Center, the successors or assigns, an easement and right-of-way 24 feet in width to construct, place and maintain water line from the City of Columbia's water line. The said extension will be placed or drilled under the existing pavement on Chamberlain Drive. Said water line of 1" will be installed by the City of Columbia Water Department for the purpose of placing a water meter service to the property of Columbia Golf Center, being described as follows:

Beginning at the fire hydrant on Chamberlain Drive near Garner Lane and running east 65 feet and being 24 feet in width, to the property shown on TMS 7411-3-8. Easement will be assigned to the City of Columbia upon the completion of the aforementioned meter service line.

TO HAVE AND TO HOLD the aforesaid rights to the grantee, its successors and assigns, as aforesaid.

And the grantor agrees to warrant and forever defend the above grantee rights against himself or his heirs and against any other person lawfully claiming or to claim the same or any part thereof.

IN WITNESS WHEREOF, it has/have hereunto set its hand(s) and seals(s) this 15th day of February, in the year of our Lord, One Thousand, Nine Hundred and Eighty Two.

WITNESSES:

John K. Moore  
Gregory M. Buecker

Shelter Properties III Limited Partnership

By: Shelter Realty III CorporationBy: William R. Paul Jr.  
Vice President

DC925 PAGE 815



STATE OF SOUTH CAROLINA )  
                                   GREENVILLE )  
 COUNTY OF RICHLAND )

PERSONALLY APPEARED before me the First Subscribing Witness

who, on oath, say that (s)he saw the within-named Shelter Properties III Limited Partnership by and through its General Partner, Shelter Realty III Corporation, by William H. Treacy, Jr. its Vice President

Grantor, sign, seal, and deliver the within-written Easement, for the uses and purposes therein mentioned, and the (s)he with the Second Subscribing Witness witnessed the execution thereof.

Ann K. Moore  
 First Subscribing Witness

SWORN TO BEFORE ME THIS  
15th day of February, 1989.  
Kalley M. Buecker (SEAL)  
 Notary Public  
 My Commission Expires: 3/27/90







NOTES

- 1) THE MANHOLES LABELLED WITH LETTERS (MANHOLE  
A, ETC.) ARE IN REFERENCE TO THE SKETCH  
OF THE AREA BY EUTCH SMYRGT (ENCL).
- 2) SOME MINOR GRADING MIGHT BE NECESSARY IN THIS  
AREA TO PROVIDE 2' OF COVER FOR PIPE. IF  
GRADING IS NECESSARY, CARE SHOULD BE TAKEN  
TO AVOID HINDERING THE PROPER DRAINAGE AS  
EXISTED PRIOR TO GRADING. DITCH IS NORMALLY  
DRY AND OF USE ONLY DURING HEAVY RAINS (NOT  
NAVIGABLE).

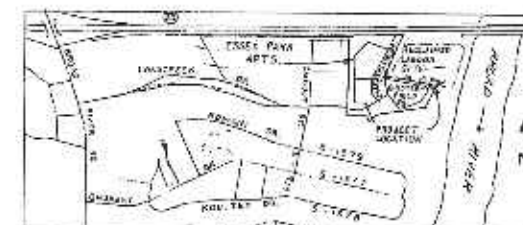
SCALE:

HORIZONTAL =  $1^u - 70$   
VERTICAL =  $1^u - 5$

### BENCHMARK

SET IN SWY POLE APPROX 20' LI. OF M.H. @  
STA 2+75 CONST. E

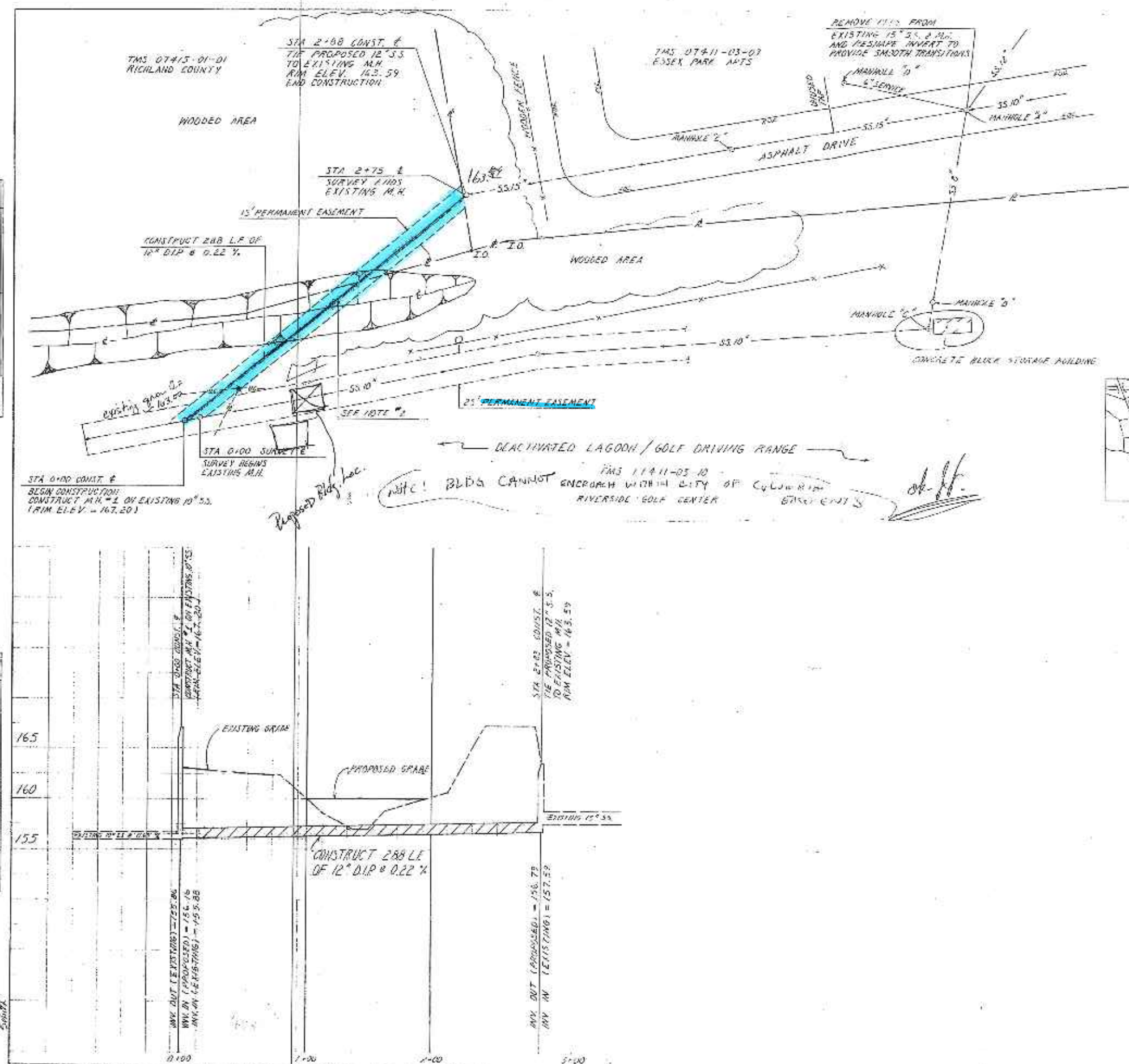
ELEVATION - 165.11 MSL



VICINITY MAP  
SCALE 1"=1400

CITY OF COLUMBIA, S. C.  
DEPARTMENT OF UTILITIES & ENGINEERING

THIS MAP OR PLAN IS THE PRODUCT OF COM-  
PILATION, OR WAS PRODUCED BY OTHERS. IT  
IS PROVIDED FOR INFORMATION ONLY AND THE  
CITY OF COLUMBIA MAKES NO REPRESENT-  
ATIONS AS TO ITS ACCURACY, ITS USE WITHOUT  
FIELD VERIFICATION IS AT THE SOLE RISK OF  
THE USER.



CF# SS 453-0/1-02  
SHEET # 1 OF 1

PC 177-06



#286-  
#288  
SHEET  
27

D 402 PAGE 523

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )  
RIVERSIDE SERVICE COMPANY, INC.

DEED TO SANITARY SEWER LINES FREEPORT  
ASSOCIATES

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, 11, Riverside Service Company, Inc.,

OF Columbia, South Carolina, do hereby bargain, sell, transfer and convey unto  
The City of Columbia, its successors or assigns, all its right, title and  
interest in and to the below described sanitary sewer lines.

All those certain sanitary sewer lines the same being 15", 12", 10" and 8"  
in diameter including manholes, manhole castings, wyes, service lines run from main  
lines to property lines and all fittings.

Beginning at a cleanout in the vicinity of the northwest corner of the  
Spanish Villa Apartments and running in a generally northeasterly direction for a  
distance of eight hundred sixty-five (865) feet, more or less, to manhole #3A,  
thence turning and running in a generally northwesterly direction for a distance of  
forty-five (45) feet, more or less, to manhole #5 of line F1, thence turning and  
running in a northeasterly direction for a distance of six hundred ninety (690) feet,  
more or less, to manhole #1, thence turning and running in a southeasterly direction  
for a distance of thirty (30) feet, more or less to manhole #9 on line S-1, thence  
turning and running in a northeasterly direction for a distance of three hundred  
ninety (390) feet, more or less, to manhole #7, thence turning and running in an  
easterly direction for a distance of one hundred (100) feet, more or less, to manhole  
#6, thence turning and running in a generally northeasterly direction for a distance  
of one hundred thirty-three (133) feet, more or less, to manhole #5, thence turning  
and running in a generally easterly direction for a distance of six hundred twenty  
(620) feet, more or less, to manhole #3, thence turning and running in a generally  
east northeasterly direction for a distance of four hundred sixty-five (465) feet,  
more or less, to manhole #2, thence turning and running in a generally northerly  
direction to a City maintained lagoon.

Also, beginning at manhole #3 line S-1 running in a generally southwesterly  
direction for a distance of four hundred sixty (460) feet, more or less, to terminal  
manhole #4 of line S-2.

Also, beginning at manhole #2 line S-1 and running in a generally south-  
westerly direction for a distance of eight hundred sixty-eight (868) feet, more or  
less, to manhole #9 of line S-3, thence turning and running in a generally westerly  
direction for a distance one hundred seventy-four (174) feet, more or less, to man-  
hole #10, thence turning and running in a generally west southwesterly direction for  
a distance of one thousand one hundred thirty-eight (1,138) feet, more or less, to  
manhole #13, thence turning and running in an irregular generally westerly direction  
along Long Creek Drive for a distance of seven hundred thirty-two (732) feet, more or  
less, to manhole #16, thence continuing in a generally curving westerly direction  
parallel to the northern side of Long Creek Drive for a distance of one thousand nine  
hundred sixty-five (1,965) feet, more or less, to manhole #24, thence turning and  
running in a southeasterly direction to a terminal manhole for a distance of sixty  
(60) feet, more or less.

Also, beginning at a manhole #21 and running across Long Creek Drive to a  
cleanout.

Also, beginning at a manhole #18 and running in a south southwesterly  
direction to a terminal manhole #1 of line L-3.

Also, beginning at a manhole #15 and running in a southerly direction to a  
terminal manhole #1 of line L-2.



Also, beginning at a manhole #2 of line S-1 and running in a generally northeasterly direction to a terminal manhole for a distance of four hundred ten (410) feet, more or less.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewers, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

This conveyance also includes an easement extending seven and five tenths (7.5) feet on either side of all sewer mains and appurtenances heretofore described for the purpose of ingress, egress, operation and maintenance of said sanitary sewer lines.

These sanitary sewer lines are more clearly delineated on a plat of as-built Sanitary Sewer System for Riverside Service Company, Inc., Richland County, near Columbia, South Carolina, dated February 17, 1972, revised January 15, 1974, prepared by Dallas E. Manis, P. E., on file in the office of the City Engineer, Columbia, South Carolina under file reference 36-10.

To have and to hold the said property unto The City of Columbia its successors and assigns.

And it, Riverside Service Company, Inc. By: L. Arlen Cotter warrant(s) that it is the lawful owner of said property and the right to convey same; and that the property conveyed is free and clear of any and all liens and encumbrances of whatsoever kind or nature.

WITNESS hand and seal this 22nd day of October, 19 76, RIVERSIDE SERVICE COMPANY, INC.

WITNESSES:

By: L. Arlen Cotter

Deborah C. McAllister  
Melba Shealy

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

Personally Appeared before me Deborah C. McAllister and made oath that she saw the within named Riverside Service Company, Inc. sign, seal and as its act and deed deliver the within instrument for the uses and purposes therein mentioned and that she with Melba Shealy witnessed the execution thereof.

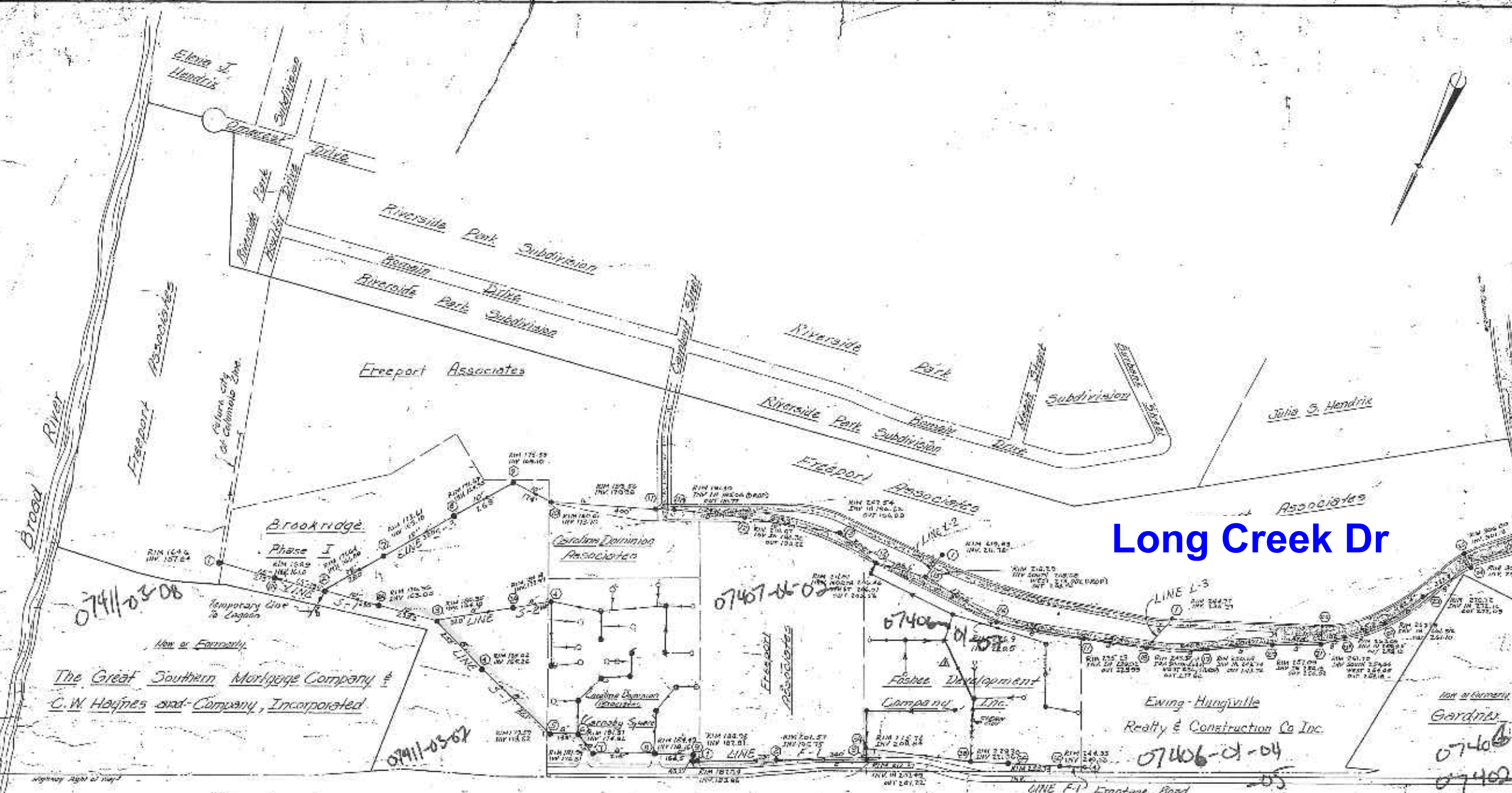
SWORN to before me this 22nd day of October, 19 76,  
Melba Shealy (L.S.)  
Notary Public for South Carolina  
My Commission Expires: 12-4-80



286a  
Sheet 27  
287  
288

Broad  
River  
Rd

Long Creek Dr



Note:  
1. Lines S-1, S-2 & S-3 (Thru M.H. #8) were submitted under Application of J.P. DeBoer Associates, Inc. for Brookridge Apartments Dated March 1, 1972 And Were Approved under Construction Application No. 2097-C. These Line Sizes Have Been Revised As Shown.  
2. Manholes Shown Thus —●—  
Cleanouts Shown Thus —○—

Master Sewer Plan for  
Record Drawings  
**Riverside Service Company**

Broad River Road and Interstate Hwy No. 20  
In Richland County - Near Columbia, S.C.

B. P. Barber & Associates, Inc. - Engineers - Columbia, S.C. - Feb. 19, 1973 - Scale: 1" = 300'

REVISED	APPROVED BY	DATE	REVISIONS	DATE
5/18/75	B. P. BARBER & ASSOCIATES, INC.	5/18/75	DESIGNED	5/18/75
	ENGINEERS		DRAWN	5/17/75
	COLUMBIA, S. C.		CHECKED	5/15/74

13  
-09  
-12  
Jennison & Condo

D402/523 11/3/1976



D1144 PAGE 838

286 B

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND ) DEED TO WATER LINES FOR JAMESTOWN SQUARE CONDOMINIUM  
OFFICE COMPLEX, RICHLAND COUNTY TMS 07484, BLOCK 01,  
LOTS 01 THROUGH 22

BFH ASSOCIATES

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, we, BFH Associates

of Raleigh, North Carolina, does hereby bargain, sell, transfer and convey unto  
The City of Columbia, its successors or assigns, all our right, title and  
interest in and to the below described water lines:

All those certain water lines, the same being two (2) and six (6) inches  
in diameter, including valves, valve boxes, fire hydrants, meter boxes, service  
lines to meter boxes and all fittings.

Beginning with a tie into an existing line, said tie point being located  
in the Frontage Road and being approximately thirty (30) feet northeast from a  
concrete bench mark monument (MSL Elevation 276.58), thence extending in a  
generally southeasterly direction for approximately two hundred and fourteen (214)  
feet, thence turning to the left approximately forty-five (45) degrees, thence  
extending in a generally southeasterly direction for approximately fifty-eight (58)  
feet, thence turning to the left approximately forty-five (45) degrees, thence  
extending in a generally northeasterly direction for approximately forty-five (45)  
feet, thence turning to the right approximately ninety (90) degrees, thence  
extending in a generally southeasterly direction for approximately two hundred  
thirty-five (235) feet, thence turning to the left approximately ninety (90)  
degrees, thence extending in a generally northeasterly direction for approximately  
eight (8) feet, thence turning to the right approximately ninety (90) degrees,  
thence extending in a generally southeasterly direction for approximately twenty-  
six (26) feet, whence a tie is made into an existing main located on the northern  
side of Longcreek Drive.

Also, beginning with a tie into the line described in the preceding  
paragraph, said tie point being made approximately sixty-five (65) feet from the  
beginning of the described line, thence extending in a generally northeasterly  
direction for approximately one hundred sixty-five (165) feet, said line being more  
or less parallel with the front of Buildings 101 through 107 inclusive, which  
termination is made with a hose bib.

Also, beginning with a tie into the line described in the second  
preceding paragraph, said tie point being made approximately one hundred fifty-six  
(156) feet from the beginning of the described line, thence extending in a  
generally northeasterly direction for approximately one hundred forty-five (145),  
said line being, more or less, parallel with the rear of Buildings 201 through 207  
inclusive, whence termination is made.

The Grantor hereby agrees to be responsible for repairs of all damage to  
water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants  
hereby conveyed which arise out of the operation of any equipment or vehicles under  
control of the Grantor or any other party in connection with the initial  
installation of streets, paving, curbs and gutters, drainage, sewer, utility lines,  
final grading or improvements in development of property served by said lines, and  
the Grantor shall either effect necessary repairs or reimburse the City for the  
cost of repairs at the option of the City.

This conveyance also includes an exclusive easement on all water lines  
and appurtenances heretofore described for the purpose of ingress, egress,  
operation and maintenance of said water lines. The grantor hereby agrees that no  
construction (including, but not limited to, buildings, paving, pipe lines or other  
utilities) will be allowed within the limits of this easement without prior  
approval of the City Engineer.

D1144 PAGE 838

Ph2



This conveyance also includes all easements shown on a set of as-built plans for Jamestown Square Condominium Office Complex, in Richland County, near Columbia, South Carolina, plans dated March 6, 1985, prepared for BFH Associates, by Civil Engineering of Columbia, William H. Brown, P.E., and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference #130-07.

These water lines are more clearly delineated on a set of as-built plans for Jamestown Square Condominium Office Complex, in Richland County, near Columbia, South Carolina, plans dated March 6, 1985, prepared for BFH Associates, by Civil Engineering of Columbia, William H. Brown, P.E., and being on file in the office of the City's Director of Utilities and Engineering, Columbia, South Carolina under file reference #130-07.

D-14-13

TO HAVE AND TO HOLD the said property unto the City of Columbia, its successors and assigns.

And we, BFH Associates warrant(s) that we are the lawful owner of said property and have the right to convey same; and that the property is free and clear of any and all liens and encumbrances of whatsoever kind or nature, except those set forth hereinabove.

WITNESS their hand and seal this 20<sup>TH</sup> day of MAY, 1985.

T. W. Blankinship  
Title: T. W. Blankinship, Partner

WITNESSES

W. Laird Staley, Jr.  
Deborah Ogilvie

STATE OF NORTH CAROLINA )  
COUNTY OF WAKE )  
RICHLAND

PERSONALLY APPEARED before me W. Laird Staley, Jr. and made oath that he saw the within named BFH Associates partner, T.W. Blankinship, sign, seal and as their act and deed deliver the within written instrument for the uses and purposes therein mentioned and that he with Deborah Ogilvie witnessed the execution thereof.

SWORN to before

me this 20 day of May, 1985.

Wanda Stevens (L.S.)  
Notary Public for South Carolina  
North

My Commission Expires 7-1-85



RECORDED  
HAR 1-8-88  
CITY OF COLUMBIA  
RECEIVED 11/10/87

Required length of 24" pipe  
 $24 = 1.2 \left[ \frac{12.15}{1.2} \right] = 1.25$   
 $= 54.5 \left[ \frac{1.1}{1.05} \right] = 57.85$   
 $= 54.5 \left[ \frac{1.1}{1.05} \right] = 57.85$   
 $= 138.25$

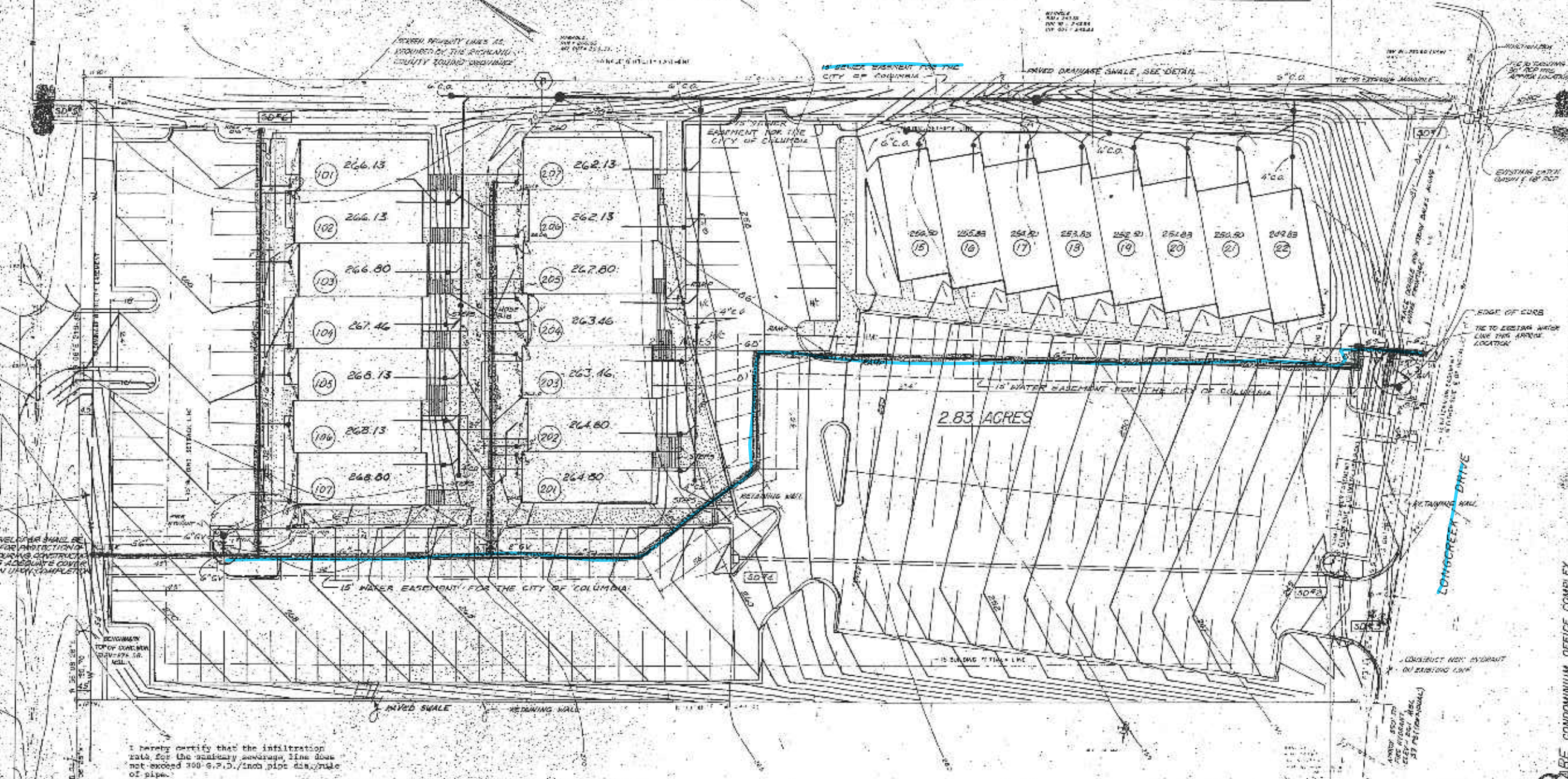
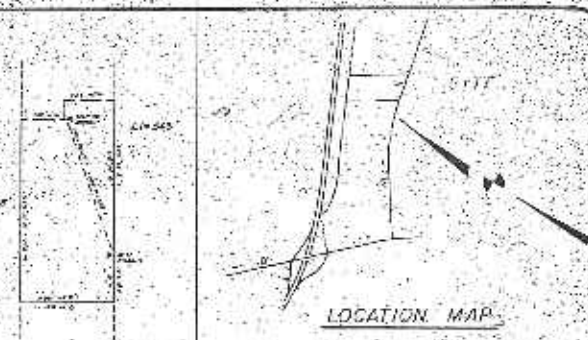
Pressure loss in 18" pipe of 6" dia.  
 $6.106 \text{ psi} = 8.5 \text{ psi}$   
 (residual) - P = Pressure Loss  
 $= 35 \text{ psi} - 8.5 \text{ psi}$   
 $= 26.5 \text{ psi} = 1006 \text{ psi (for fire hydrant)}$

# WATER CALCULATIONS

Peak Demand  
 $Q = 1.167 \times 10^{-4} (1.41 + 0.5) \text{ where } P = \text{Population in thousands}$   
 $= (1000 \times 0.00000273) (1.41 + 0.5)$   
 $= 0.00000273 \times 1.91$   
 $= 0.00000521$   
 $P (1000) = 20 \text{ units} \times 5 \text{ employees/unit} \times 25 \text{ employees/100 sq ft/person}$   
 $= 2500 \times 1.25$   
 $= 3125 \text{ sq ft} = 8.33 \text{ CFS}$   
 $P = 27.5/1000$   
 $= 0.0275$

Design Flow = 1000 GPM = 13.38 Peak Demand  
 $= 1000 \div 6.48 \text{ CFS}$   
 $= 155.25$

## WATER LINE SCHEMATIC



I hereby certify that the infiltration rate for the sanitary sewerage line does not exceed 300 G.P.D./inch pipe dia./mile of pipe.

William H. Brown, P.E., S.E., #4953  
 REFERENCE

PLAT PREPARED FOR D & H DEVELOPMENT CO.  
 BY R. P. BARBER & ASSOCIATES, DATED MARCH 23, 1978  
 PORTION OF RICHLAND CO. TAX MAP 07406-1-B

ALL ELEVATIONS ARE MEAN SEA LEVEL

I HEREBY CERTIFY THAT THE WATER AND SEWER DISTRIBUTION SYSTEM IN JAMESTOWN SQUARE CONDOMINIUM OFFICE COMPLEX AS SHOWN ON THE PLAT, DATED MARCH 23, 1978, PREPARED BY CIVIL ENGINEERING OF COLUMBIA HAS BEEN INSTALLED IN CLOSE ACCORDANCE WITH THE PRELIMINARY PLAT APPROVED AUGUST 15, 1978.

William H. Brown, P.E., S.E., #4953

THIS LOT IS NOT IN A FLOOD HAZARD AREA ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, COMMUNITY MAP NUMBER 00017, DATED EFFECTIVE DATE, NOV. 4, 1981.

## SUBSURFACE INFORMATION FURNISHED BY CONTRACTOR



I HEREBY CERTIFY THAT THE WATER AND SEWER DISTRIBUTION SYSTEM AS SHOWN ON THE PLAT, DATED MARCH 23, 1978, PREPARED BY CIVIL ENGINEERING OF COLUMBIA HAS BEEN INSTALLED IN CLOSE ACCORDANCE WITH THE PRELIMINARY PLAT APPROVED AUGUST 15, 1978.

William H. Brown, P.E., S.E., #4953

APPROVED

JAMESTOWN SQUARE CONDOMINIUM OFFICE COMPLEX

CIVIL ENGINEERING OF COLUMBIA



48-BUILT WATER / SEWER

R. P. BARBER & ASSOCIATES

84045

APPROVED BY William H. Brown

1 OF 1

130-07



289  
Sheet  
27

D 268 PG. 595

1972-301-111

STATE OF SOUTH CAROLINA

DEED TO WATER LINES IN FOSHEE APARTMENTS

COUNTY OF RICHLAND

COLUMBIA ASSOCIATES LIMITED PARTNERSHIP

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, it, Columbia Associates Limited Partnership, of Columbia, South Carolina, does hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all its right, title and interest in and to the below described water lines.

All these certain water lines the same being six (6) inches, three (3) inches and two and one-half (2½) inches in diameter, including valves, valve boxes, hydrants, service lines run from main lines to meter sites and all fittings.

Beginning at the City's water line on Freeport Boulevard at entrance to Foshee Apartments in the vicinity of building # 3 and running in a northeasterly direction to a connection with an existing water line adjacent to the Frontage Road.

Also, beginning at a water line in the vicinity of the southeast corner of building # 3 and running in a westerly direction to a terminal end in the vicinity of the southeast corner of building # 1.

Also, beginning at a water line in the vicinity of the northwest corner of building # 4 and running in an easterly direction to the vicinity of the northwest corner of building # 6; thence, in a northeasterly direction to a terminal end in the vicinity of the southwest corner of building # 16.

Also, beginning at a water line in the vicinity of the northeast corner of building # 8 and running in a northeasterly direction to a terminal end in the vicinity of the northeast corner of building # 7.

Also, beginning at a water line in the vicinity of the northwest corner of building # 8 and running in a northeasterly direction forty (40) feet, more or less, to a meter site in the vicinity of the southeast corner of building # 21.

Also, beginning at a water line in the vicinity of the northwest corner of building # 13 and running in a southeasterly direction to a terminal end between buildings # 13 and # 14.

Also, beginning at a water line in the vicinity of the southeast corner of building # 12 and running in a northwesterly direction one hundred sixty (160) feet, more or less; thence, in a southwesterly direction forty-five (45) feet, more or less, to a meter box in the vicinity of the northeast corner of building # 9.

Also, beginning at a water line in the vicinity of the southeast corner of building # 12 and running in an easterly direction to a terminal end in the vicinity of the southwest corner of building # 17.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb rocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewers, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

It is further understood and agreed that the said owner of property known as Foshee Apartments its successors or assigns does hereby grant unto the City of Columbia its successors or assigns, the right, privilege, and authority of ingress and egress at

D 268 PG. 595



D 268 PG. 596

at all times for the purpose of operating and maintaining all water lines, valves, hydrants, service lines, and meters as described above; situate, lying and being within the boundaries of property owned by Columbia Associates Limited Partnership and being known as Foshee Apartments.

These water lines are more clearly delineated on a plat of as built water distribution for Foshee Apartments, Richland County, near Columbia, South Carolina, prepared by Walter S. Tyler, Engineer, dated December 6, 1972, on file in the Office of the City Engineer, Columbia, South Carolina.

To have and to hold the said property unto The City of Columbia, its successors and assigns.

And it, Columbia Associates Limited Partnership, warrants that it is the lawful owner of said property and has the right to convey same; and that the property conveyed is free and clear of any and all liens and encumbrances of whatsoever kind or nature.

WITNESS its hand and seal this 6<sup>TH</sup> day of JANUARY, 1973.

COLUMBIA ASSOCIATES LIMITED PARTNERSHIP

By: John M. Foshee  
GENERAL PARTNER Title:

Witnesses:

Frank B. Hill Jr.  
J. G. Robertson

STATE OF ALABAMA  
COUNTY OF MONTGOMERY

PERSONALLY APPEARED before me FRANK B. HILL JR. and made oath that he saw the within named Columbia Associates Limited Partnership sign, seal and as its act and deed deliver the within written instrument for the uses and purposes therein mentioned and that he with J. G. ROBERTSON witnessed the execution thereof.

Frank B. Hill Jr.

SWORN to before

me this 6<sup>TH</sup> day of JANUARY, 1973.

John M. Foshee (L. 5)  
Notary Public for ALABAMA

NOTARIAL SEAL

D 268 PG. 596



STATE OF SOUTH CAROLINA  
COUNTY OF RICHLAND

COLUMBIA ASSOCIATES LIMITED  
PARTNERSHIP  
D. S. W. - *W. S. W. - W. S. W.*

Federal Agent  
 was filed for record in 2014  
 2014 period on 11/13/14  
 11/13/14

10689  
D-768

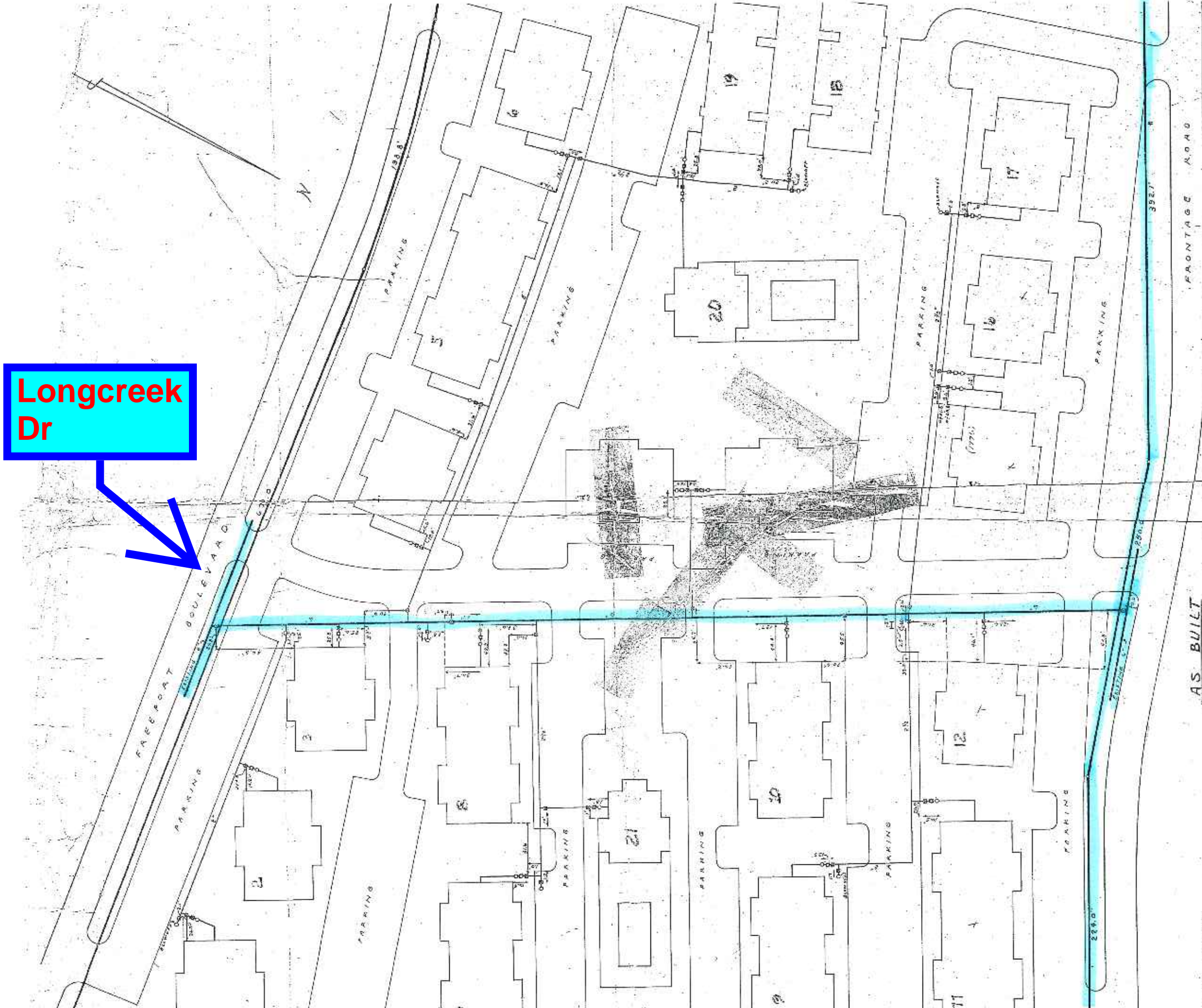
DEED TO WATER LINES IN FOSHET  
APARTMENTS

ROY O. BATES  
CITY ATTORNEY  
THOMAS F. LYDON, JR.  
ASSISTANT CITY ATTORNEY

ROY O. BATES  
CITY ATTORNEY  
THOMAS F. LYDON, JR.  
ASSISTANT CITY ATTORNEY



Longcreek  
Dr



LEADING SERVICE

VALVE  
METER  
BACKFLOW

AS BUILT

WATER DISTRIBUTION

FOSHEE DEVELOPMENT CO.



WALTER J. TYLER  
COLUMBIA, S.C.  
PROFESSIONAL ENGINEER No. 3511  
DATE: 1/1/72

SCALE: 1"=40'  
DEC. 6, 1972

CHA 28-10

300/807



D 402 PAGE 523

STATE OF SOUTH CAROLINA

DEED TO SANITARY SEWER LINES FREEPORT ASSOCIATES

COUNTY OF RICHLAND

RIVERSIDE SERVICE COMPANY, INC.

TO

THE CITY OF COLUMBIA

FOR VALUE RECEIVED, It, Riverside Service Company, Inc.,

OF Columbia, South Carolina, do hereby bargain, sell, transfer and convey unto

The City of Columbia, its successors or assigns, all its right, title and

interest in and to the below described sanitary sewer lines.

All those certain sanitary sewer lines the same being 15", 12", 10" and 8" in diameter including manholes, manhole castings, wyes, service lines run from main lines to property lines and all fittings.

Beginning at a cleanout in the vicinity of the northwest corner of the Spanish Villa Apartments and running in a generally northeasterly direction for a distance of eight hundred sixty-five (865) feet, more or less, to manhole #3A, thence turning and running in a generally northwesterly direction for a distance of forty-five (45) feet, more or less, to manhole #3 of line S-1, thence turning and running in a northeasterly direction for a distance of six hundred ninety (690) feet, more or less, to manhole #1, thence turning and running in a southeasterly direction for a distance of thirty (30) feet, more or less to manhole #9 on line S-1, thence turning and running in a northeasterly direction for a distance of three hundred ninety (390) feet, more or less, to manhole #7, thence turning and running in an easterly direction for a distance of one hundred (100) feet, more or less, to manhole #6, thence turning and running in a generally northeasterly direction for a distance of one hundred thirty-three (133) feet, more or less, to manhole #5, thence turning and running in a generally easterly direction for a distance of six hundred twenty (620) feet, more or less, to manhole #3, thence turning and running in a generally east northeasterly direction for a distance of four hundred sixty-five (465) feet, more or less, to manhole #2, thence turning and running in a generally northerly direction to a City maintained lagoon.

Also, beginning at manhole #3 line S-1 running in a generally southwesterly direction for a distance of four hundred sixty (460) feet, more or less, to terminal manhole #4 of line S-2.

Also, beginning at manhole #2 line S-1 and running in a generally southwesterly direction for a distance of eight hundred sixty-eight (868) feet, more or less, to manhole #9 of line S-3, thence turning and running in a generally westerly direction for a distance one hundred seventy-four (174) feet, more or less, to manhole #10, thence turning and running in a generally west southwesterly direction for a distance of one thousand one hundred thirty-eight (1,138) feet, more or less, to manhole #13, thence turning and running in an irregular generally westerly direction along Long Creek Drive for a distance of seven hundred thirty-two (732) feet, more or less, to manhole #16, thence continuing in a generally curving westerly direction parallel to the northern side of Long Creek Drive for a distance of one thousand nine hundred sixty-five (1,965) feet, more or less, to manhole #24, thence turning and running in a southeasterly direction to a terminal manhole for a distance of sixty (60) feet, more or less.

Also, beginning at a manhole #21 and running across Long Creek Drive to a cleanout.

Also, beginning at a manhole #18 and running in a south southwesterly direction to a terminal manhole #1 of line L-3.

Also, beginning at a manhole #15 and running in a southerly direction to a terminal manhole #1 of line L-2.

D 402 PAGE 523



Also, beginning at a manhole #2 of line S-1 and running in a generally northeasterly direction to a terminal manhole for a distance of four hundred ten (410) feet, more or less.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, sewer lines, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewers, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

This conveyance also includes an easement extending seven and five tenths (7.5) feet on either side of all sewer mains and appurtenances heretofore described for the purpose of ingress, egress, operation and maintenance of said sanitary sewer lines.

These sanitary sewer lines are more clearly delineated on a plat of as-built Sanitary Sewer System for Riverside Service Company, Inc., Richland County, near Columbia, South Carolina, dated February 17, 1972; revised January 15, 1974, prepared by Dallas E. Manis, P. E., on file in the office of the City Engineer, Columbia, South Carolina under file reference 36-10.

To have and to hold the said property unto The City of Columbia  
Its successors and assigns.

And it, Riverside Service Company, Inc. By: L. Arlen Cotter  
warrant(s) that it is the lawful owner of said property  
and the right to convey same; and that the property conveyed  
is free and clear of any and all liens and encumbrances of whatsoever  
kind or nature.

WITNESS hand and seal this 22nd day of October  
19 76 RIVERSIDE SERVICE COMPANY, INC.

WITNESSES:

By: L. Arlen Cotter

Douglas C. McAtister  
Michael Shealy

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

Personally Appeared before me Deborah C. McAtister  
and made oath that she saw the within named Riverside Service Company, Inc.  
By: L. Arlen Cotter  
sign, seal and as its act and deed deliver the within instrument  
for the uses and purposes therein mentioned and that she with Michael Shealy  
witnessed the execution thereof.

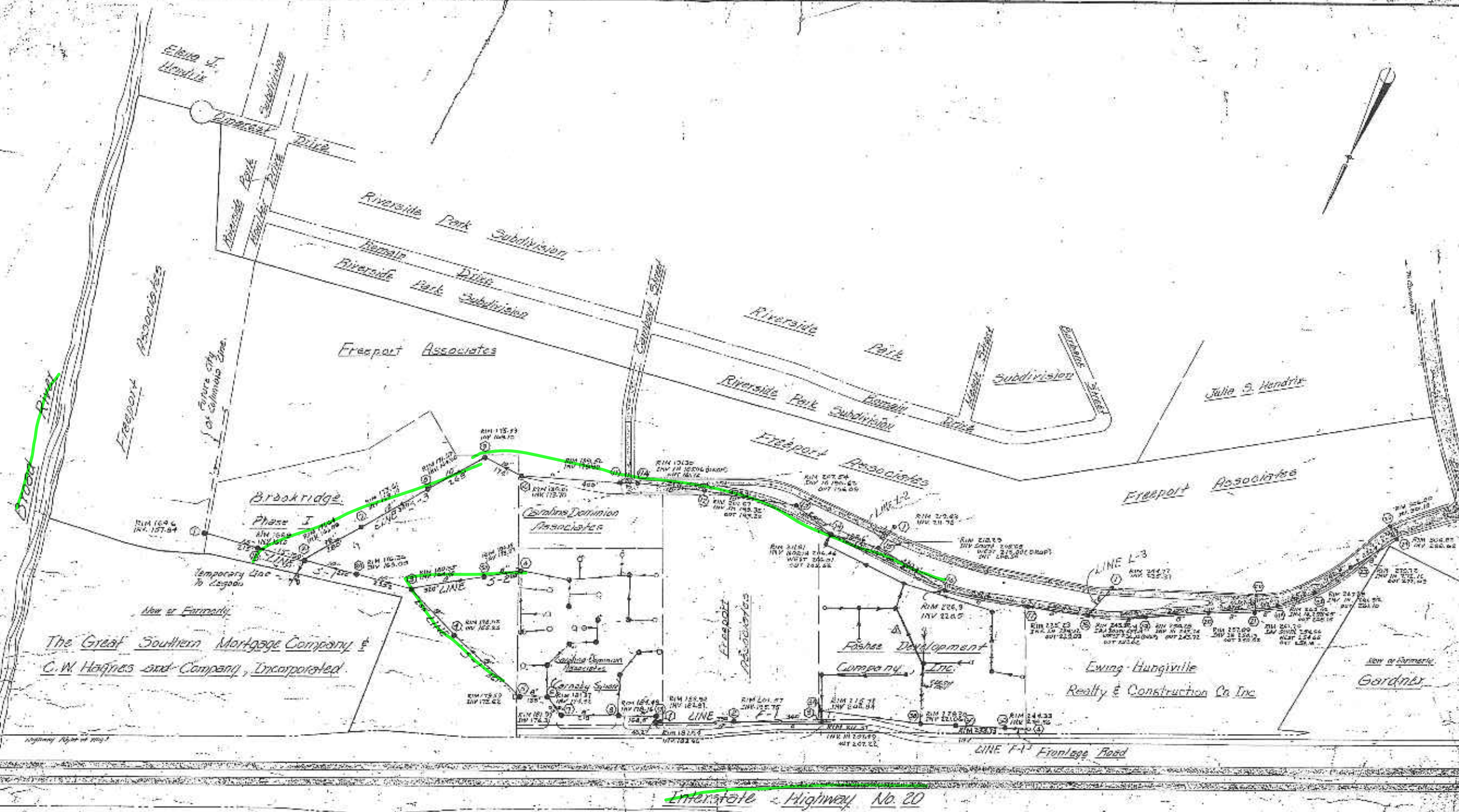
Douglas C. McAtister

SWORN to before

me this 22nd day of October, 19 76.

Michael Shealy (L.S.)  
Notary Public for South Carolina  
My Commission Expires: 12-4-80





- NOTE:
1. Lines S-1, S-2 & S-3 (Thru. M.H.'s) were submitted under Application of J.P. DuBois Associates, Inc. for Brookridge Apartments Dated March 1, 1972 And were Approved under Construction Application No. 2095-C. These line sizes have been revised as shown.
  2. Manholes Shown Thus —●—
  3. Cleanouts Shown Thus —○—

Master Sewer Plan For  
Record Drawings  
**Riverside Service Company**

Broad River Road and Interstate Hwy. No. 20  
In Richland County - Near Columbia, S.C.

B.P. Barber & Associates, Inc. - Engineers - Columbia, S.C. - Feb. 10, 1974 - Scale: 1" = 50'

DESIGNED BY	DATE	REVISIONS	ENGINEERED BY
TRACED	5/18/73	1. July 20, 1973	
CHECKED		2. Aug 5, 1974	
		3. Dec 17, 1973	
		4. Feb 15, 1974	
SCALE: 1" = 50'			DATE

36-10 AS BUILT 1974



290  
291  
292  
Sheet 37

STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

DEED TO WATER LINES IN A PORTION OF  
FREEPORT ASSOCIATES DEVELOPMENT

FREEPORT ASSOCIATES )  
TO )  
THE CITY OF COLUMBIA )

DEC 6 11 31 AM '73

FILED

Need file 301-178

FOR VALUE RECEIVED, it, ~~Freeport Associates~~, of Columbia, South Carolina, ~~do~~ does hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all its right, title and interest in and to the below described water lines.

All those certain water lines, ~~the same being eight (8) inches, and six (6) inches in diameter including valves, valve boxes hydrants, service lines run from main lines to property lines and all fittings.~~

Beginning at the City's water line ~~at the intersection of Cambout Street and Longcreek Drive and running in a generally westerly direction along Longcreek Drive to a connection with the City's water line in Broad River Road.~~

~~Also, beginning at the City's water line in the I-20 Frontage Road at its intersection with the entrance drive to the Pusher Development Company, Inc., property (Spanish Villa Apartments) and running in a generally westerly direction along the Frontage Road for a distance of four hundred sixty eight (468) feet, more or less, to a terminal end.~~

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, ~~sewer lines~~, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor ~~or any other party in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewers, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.~~

These water lines are more clearly delineated on a plat of Freeport Associates water mains Richland County near Columbia, South Carolina dated August 17, 1973, prepared by Dallas E. Manis, Engineer, on file in the Office of the City Engineer, Columbia, South Carolina.

To have and to hold the said property unto The City of Columbia, its successors and assigns.

And it, FREEPORT ASSOCIATES, warrants that it is the lawful owner of said property and has the right to convey same; and that the property conveyed is free and clear of any and all liens and encumbrances of whatsoever kind or nature.

WITNESS its hand and seal this 26<sup>th</sup> day of September 1973.

FREEPORT ASSOCIATES

By [Signature]  
(Title) Partner

By [Signature]  
Partner

Witnesses:

M. Elaine White  
Witness #1

[Signature]  
Witness #2



STATE OF SOUTH CAROLINA )  
 )  
 COUNTY OF RICHLAND )

PERSONALLY APPEARED before me M. Elaine White and made  
 oath that she saw the within named FREEPORT ASSOCIATES by L. Arlen Collier Gayle O. Avenet,  
Partners sign, seal and as its act and deed deliver the within written instrument for the  
 uses and purposes therein mentioned and that she with Theresa S. Freeman witnessed  
 the execution thereof.

M Elaine White

SWORN to before  
 me this 26<sup>th</sup> day of September, 1983.  
Theresa S. Freeman (L.S.)  
 Notary Public for South Carolina



STATE OF SOUTH CAROLINA

COUNTY OF RICHLAND

FREEPORT ASSOCIATES

TO

THE CITY OF COLUMBIA

DEED TO WATER LINES IN A PORTION  
OF FREEPORT ASSOCIATES DEVELOPMENT

OFFICE OF THE CITY ATTORNEY  
CITY HALL  
COLUMBIA, SOUTH CAROLINA

ROY D. DATES  
CITY ATTORNEY

THOMAS E. LYDON, JR.

WALTER S. TODD, JR.

ASSISTANT CITY ATTORNEYS

hardly certify that the above

*Deed*

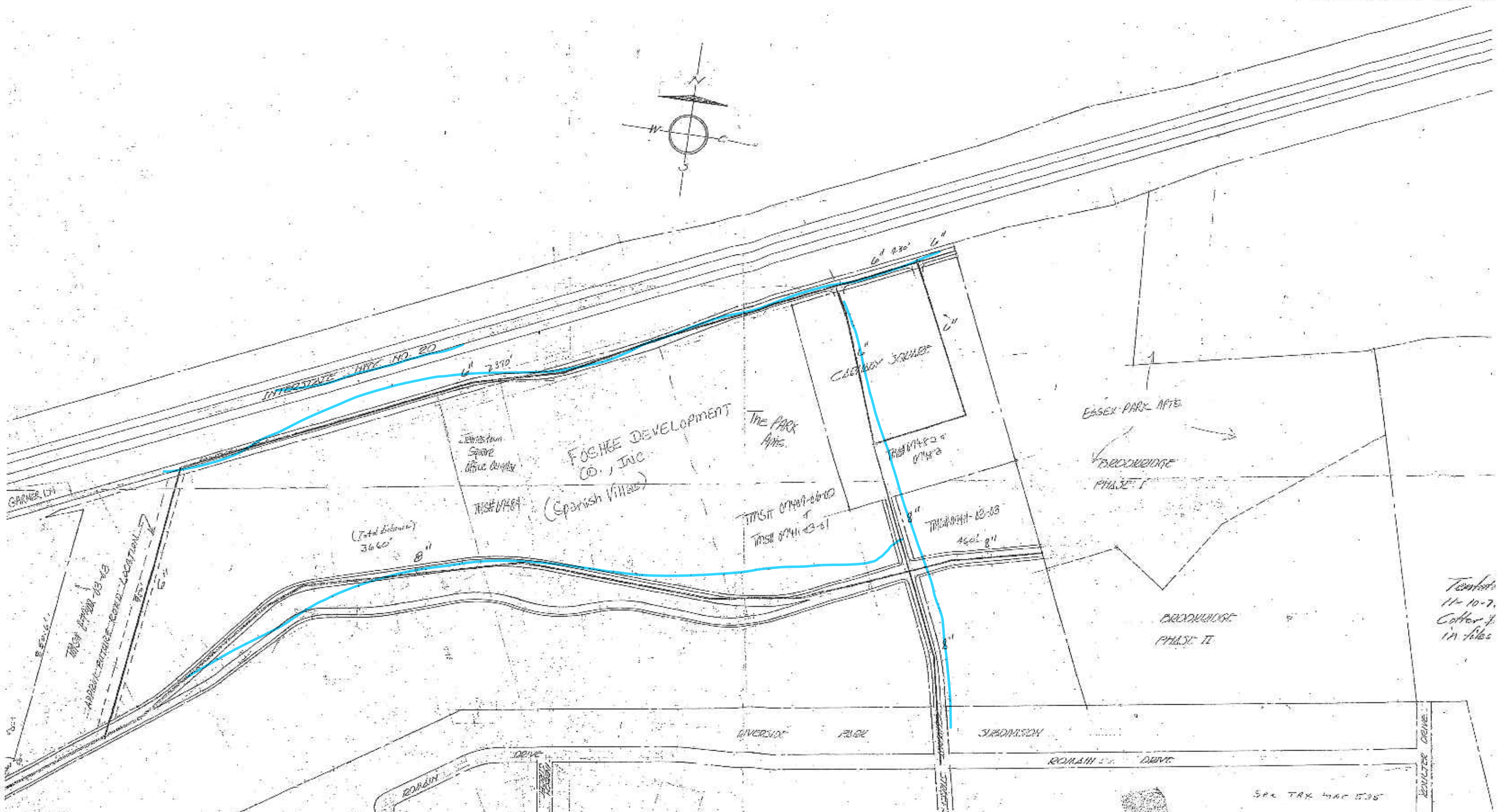
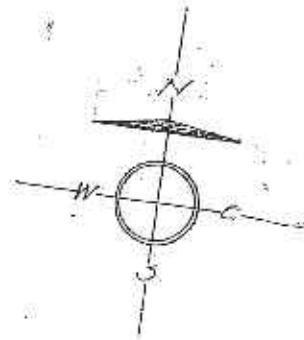
was filed for record in my office on  
11/30/84 at 1:00 PM and the  
of *Freeport Associates*

immediately in 1984 when the present  
indexes and duly recorded in book

*D 300, page 947*

*Charles L. Bartlett*  
Notary Public, S. C.  
*for*





Tentative  
11-10-71  
Cotton  
in files

RECEIVED

NOV 3 1971  
ENGINEERING DEPARTMENT  
COLUMBIA, S.C.

FREEPORT ASSOCIATES

SCALE 1"=200'  
NOV 2, 1971  
MERICHA D. SIMMONS, P.E.  
SIDNEY T. GUSTIS, JR., A.S.L.  
LANDSCAPE ARCHITECTS-ENGINEERS  
COLUMBIA, SOUTH CAROLINA

CF #36-08





EXISTING SERVICE

VALVE  
METER  
BACK FLOW

AS BUILT

WATER DISTRIBUTION

FOSHEE DEVELOPMENT CO.



WALTER D. HYLE  
COLUMBIA, S.C.  
RICHMOND COUNTY, S.C.  
REGISTERED PROFESSIONAL ENGINEER  
No. 3641

CF# 28-10

FRONTAGE ROAD

392.7'

220.0'

220.0'

225.0'

PARKING

PARKING

PARKING

PARKING

PARKING

PARKING

FRONTAGE ROAD  
BOULEVARD

PARKING

PARKING

PARKING

PARKING

3

2

21

20

12

4

11

20

19

18

17

16

SCALE: 1"=40'  
DEC. 2, 1972



1973-301-178

370a

Sheet 31  
Sheet 35STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )DEED TO WATER LINES IN A PORTION OF  
FREEPORT ASSOCIATES DEVELOPMENT

FREEPORT ASSOCIATES )

TO )

THE CITY OF COLUMBIA )

FOR VALUE RECEIVED, it, Freeport Associates, of Columbia, South Carolina, ~~do~~ does hereby bargain, sell, transfer and convey unto The City of Columbia, its successors or assigns, all its right, title and interest in and to the below described water lines.

All those certain water lines, the same being eight (8) inches, and six (6) inches in diameter including valves, valve boxes hydrants, service lines run from main lines to property lines and all fittings.

Beginning at the City's water line at the intersection of Cambout Street and LongCreek Drive and running in a generally westerly direction along LongCreek Drive to a connection with the City's water line in Broad River Road.

Also, beginning at the City's water line in the I-20 Frontage Road at its intersection with the entrance drive to the Foshee Development Company, Inc., property (Spanish Villa Apartments) and running in a generally westerly direction along the Frontage Road for a distance of four hundred sixty eight (468) feet, more or less, to a terminal end.

The Grantor hereby agrees to be responsible for repairs of all damage to water lines, ~~sewer lines~~, curb cocks, meter boxes, all fittings and fire hydrants hereby conveyed which arise out of the operation of any equipment or vehicles under control of the Grantor ~~or any other party~~ in connection with the initial installation of streets, paving, curbs and gutters, drainage, sewers, utility lines, final grading or improvements in development of property served by said lines, and the Grantor shall either effect necessary repairs or reimburse the City for the cost of repairs at the option of the City.

These water lines are more clearly delineated on a plat of Freeport Associates water mains Richland County near Columbia, South Carolina dated August 17, 1973, prepared by Dallas E. Manis, Engineer, on file in the Office of the City Engineer, Columbia, South Carolina.

To have and to hold the said property unto The City of Columbia, its successors and assigns.

And it, FREEPORT ASSOCIATES, warrants that it is the lawful owner of said property and has the right to convey same; and that the property conveyed is free and clear of any and all liens and encumbrances of whatsoever kind or nature.

WITNESS its hand and seal this 20<sup>th</sup> day of September 1973.

FREEPORT ASSOCIATES

By [Signature]  
(Title) PartnerBy [Signature]  
Partner

Witnesses:

M. Elaine White  
Witness #1[Signature]  
Witness #2

DEC 6 11 31 AM '73

FILED

Need file 301-178



STATE OF SOUTH CAROLINA )  
COUNTY OF RICHLAND )

PERSONALLY APPEARED before me M. E. KINE WHITE and made oath that she saw the within named FREEPORT ASSOCIATES by L. Arlen Collier Gayle O. Averitt, <sup>Partners</sup> sign, seal and as its act and deed deliver the within written instrument for the uses and purposes therein mentioned and that she with Harriet S. Freeman witnessed the execution thereof.

M. E. Kine White

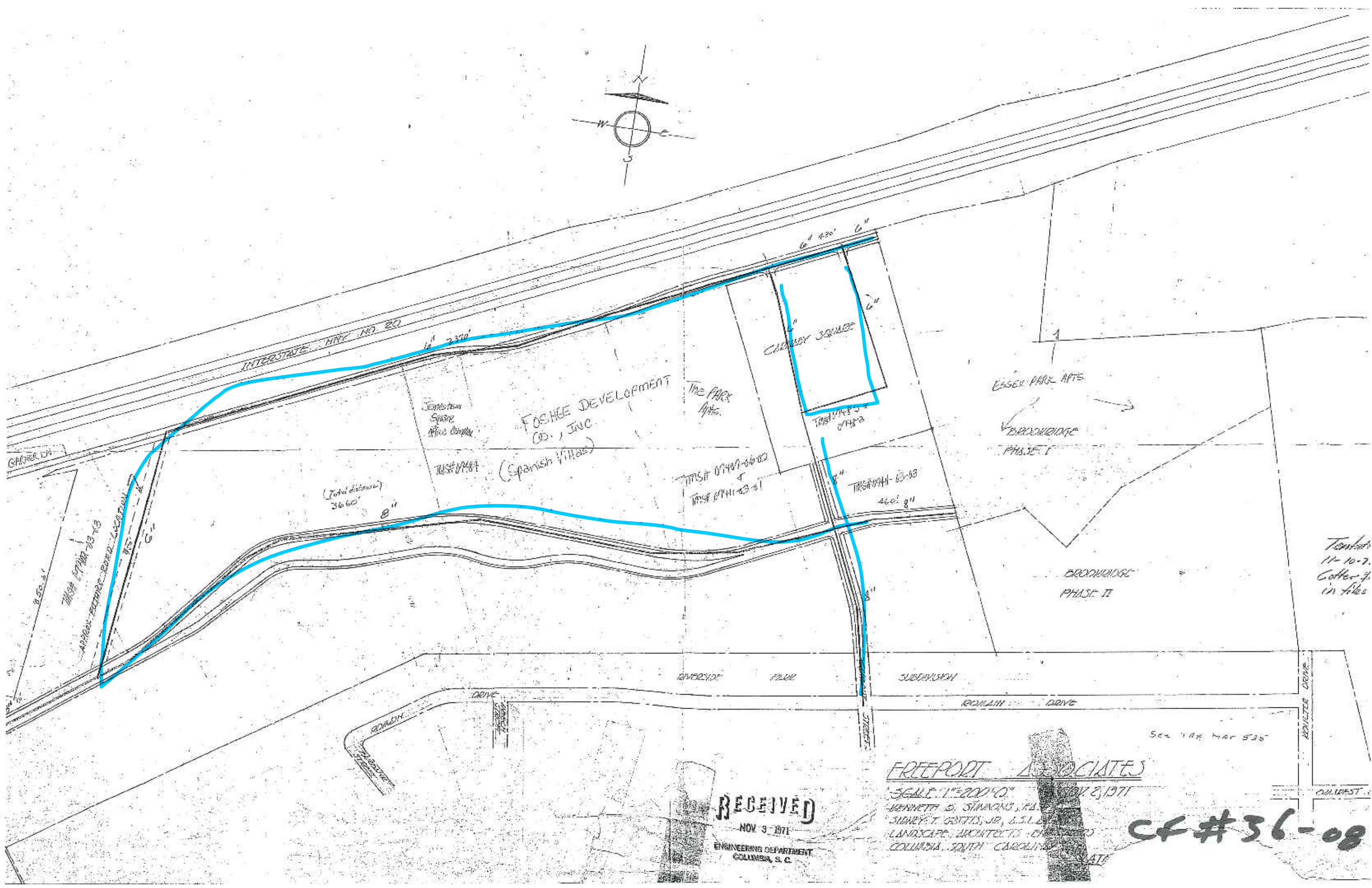
SWORN to before  
me this 26<sup>th</sup> day of September, 1913.  
Sharon D. Pearson (L.S.)  
Notary Public for South Carolina



STATE OF SOUTH CAROLINA	
COUNTY OF RICHLAND	
PRESPORT ASSOCIATES	
TO	
THE CITY OF COLUMBIA	
DEED TO WATER LINES IN A PORTION OF PRESPORT ASSOCIATES DEVELOPMENT	
OFFICE OF THE CITY ATTORNEY CITY HALL COLUMBIA, SOUTH CAROLINA	
ROY D. BATES CITY ATTORNEY	
THOMAS E. LYDON, JR. WALTER S. TODD, JR. ASSISTANT CITY ATTORNEYS	

I hereby certify that the above  
 was filed for record in my office on  
 11-30-84 at 10:00 A.M. and was  
 of  
 immediately in force upon the payment  
 indexes and duly recorded in book  
 D 500, page 107.  
 [Signature]  
 Clerk of Court or District Judge, Richland County, S. C.  
 RMC/for





ON WEST

CF #36-08

RECEIVED  
NOV 9 1971  
ENGINEERING DEPARTMENT  
COLUMBIA, S.C.





LONG SERVICE

WATER  
METER  
BACKFLOW

AS BUILT  
WATER DISTRIBUTION CO.  
FOSHEE DEVELOPMENT CO.

CH # 28-10



RICHARD COUNTY, D.C.

DEC. 22, 1972

WALTER E. FYLER

WALTER E. FYLER  
COLUMBIA, D.C.